



**City of Apopka
Planning Commission
Meeting Agenda
July 14, 2015**

5:01 PM @ CITY COUNCIL CHAMBERS

I. CALL TO ORDER

II. OPENING AND INVOCATION

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission meeting held June 9, 2015, at 5:01 p.m.

IV. PUBLIC HEARING:

1. CHANGE OF ZONING – Ponkin Road Properties, LLC, from "County" A-1 (ZIP) (Agriculture) to "City" AG-E (Agricultural Estates), for property located south of West Ponkan Road, west of Plymouth Sorrento Road. (Parcel ID #: 25-20-27-0000-00-003)
2. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – VSI Custom Homes, from "County" Rural (0-1 du/10 ac) to "City" Rural Settlement (0-1 du/5 ac), for property located south of East 6th Street, west of Orange Blossom Trail. (Parcel ID #s: 10-21-28-8652-07-010 & 10-21-28-8652-08-060)
3. CHANGE OF ZONING – VSI Custom Homes, from "County" R-2 (ZIP) to "City" R-2, for property located south of East 6th Street, west of Orange Blossom Trail. (Parcel ID #s: 10-21-28-8652-07-010 & 10-21-28-8652-08-060)

V. SITE PLANS:

1. FINAL DEVELOPMENT PLAN – Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E., property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No. 17-21-28-0000-00-029)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

- 1 Approve minutes of the Planning Commission meeting held June 9, 2015, at 5:01 p.m.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JUNE 9, 2015, AT 5:01 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Jeremiah Jaspon, and Linda Laurendeau

ABSENT: Pam Toler, Orange County Public Schools (Non-voting)

OTHERS PRESENT: R. Jay Davoll, P.E. - Community Development Director/City Engineer, David Moon, AICP - Planning Manager, E. Brown, Eric Coleman, Suzanne Kidd, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Chairperson Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the May 12, 2015, at 5:01 p.m. minutes. With no one having any corrections or additions, he asked for a motion to approve the minutes of the Planning Commission meeting held on May 12, 2015 at 5:01 p.m.

Motion: **Tony Foster made a motion to approve the revised Planning Commission minutes from the regular meeting on April 14, 2015, meeting at 5:01. Robert Ryan seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Jeremiah Jaspon, and Linda Laurendeau (6-0).**

REVISED PLAT - MAUDEHELEN, PHASE 3 - Chairperson Greene stated this is a request to recommend approval of the Revised Plat for Maudehelen, Phase 3, owned by GK Maudehelen, LLLP; the applicant/engineer is Morris Engineering and Consulting, LLC, c/o Matthew J. Morris, P.E., for property located at 455 South Binion Road. (Parcel ID Nos. 07-21-28-0000-00-004; 07-21-28-0000-00-052)

R. Jay Davoll, P.E., Community Development Director/City Engineer, stated that Mr. Morris, the owner's representative, was unable to attend due to a traffic delay.

Ms. Green swore in staff.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. With no one wishing to speak he asked if the Commission members had any ex parte communications to divulge prior to the staff presentation. With no one acknowledging ex parte communications, he opened the meeting to the staff presentation.

Staff Presentation: Mr. Davoll stated this is a request to recommend approval of the Revised Plat for Maudehelen, Phase 3, owned by GK Maudehelen, LLLP; applicant/engineer is Morris Engineering and Consulting, LLC, c/o Matthew J. Morris, P.E., for property located at 455 South Binion Road. The land use is Residential Low (0-5 du/ac) and the zoning is R-2. The existing use is vacant land and the proposed use is a single-family subdivision with 48 lots. The proposed maximum allowable development is 2.73 units per gross acre. The tract size is 17.36 +/- acres.

Mr. Davoll stated the Maudehelen, Phase 3, is a portion of the overall Maudehelen Subdivision that proposed four phases. The original Maudehelen, Phase 1 plat was recorded on January 26, 2006. Subsequently, the Phase 2 plat was recorded on September 27, 2007. The Final Development Plan for Phases 3 and 4,

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JUNE 9, 2015, AT 5:01 P.M.

containing 63 lots, was approved by City Council on February 18, 2009. A revised Final Development Plan for Phase 3 (48 lots) and Phase 4 (15 lots) was approved by City Council on December 18, 2013.

The Planning Commission reviewed and recommended approval of the Maudehelen Phase 3 Plat on December 10, 2013. City Council approve it on December 18, 2013 after reviewing the Planning Commission recommendation. A replat, or revision, of the original plat is necessary to address an updated land survey. The Maudehelen, Phase 3 Minor Plat Revision proposes the development of 48 single family residential lots. The typical minimum lot width in Phase 3 is 80 feet with a minimum lot size of 9,200 square feet. The proposed minimum living area for Phase 3 is 1,800 square feet with a minimum requirement of 1,350 square feet as set forth in Chapter 2 of the Land Development Code. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25’*
Side	7.5’
Rear	20’
Corner	25’

*Front load garage 30’

Ingress/egress for the development will be via South Binion Road.

The retention ponds have been designed to meet the City’s Land Development Code requirements.

The developer has provided two active and passive recreation areas totaling 122,275 square feet. The parks will serve the entire residential community and will be owned and maintained by the homeowners association.

A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity.

Buffers provided are consistent with the Land Development Code. A ten-foot wide landscape buffer is proposed along South Binion Road with a six-foot high brick or masonry wall. Wall design must be approved by the Community Development Department prior to issuance of a building permit.

No construction activity can occur, nor a plat recorded, until such time that a concurrency mitigation agreement has been approved by OCPS. The affected Schools are Apopka Elementary, Apopka Memorial Middle and Apopka High School.

The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

The Development Review Committee (DRC) recommends approval of the Maudehelen, Phase 3 - Plat Revision, subject to the findings of this staff report.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: None.

Affected Party(ies) Presentation: None.

Staff/Petitioner Rebuttal: None.

In response to questions by Mr. Foster, Mr. Davoll stated the affected yard sizes will not be significantly smaller than previously platted. Those lots will lose approximately 200 sq. ft. of space, but still meet the minimum standards. Additionally, none of the lots have been sold.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing and asked the members of the Commission to vote.

Motion: Jasper Jaspon made a motion to recommend approval of the Revised Plat for Maudehelen, Phase 3, owned by owned by GK Maudehelen, LLLP, for property located at 455 South Binion Road, subject to the information and findings in the staff report. Robert Ryan seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Jeremiah Jaspon, and Linda Laurendeau (6-0). (Vote taken by poll.)

OLD BUSINESS:

Planning Commission: None.

Public - None.

NEW BUSINESS:

Planning Commission: Mr. Davoll stated that staff will get the meeting packets to the Commission members by the Friday prior to the meeting. He announced that upon review of the packets, if the Commission members have technical questions, they can send those questions via e-mail to himself (jdavoll@apopka.net) or Mr. Moon (dmoon@apopka.net).

In response to a question by Mr. Ryan, Mr. Davoll stated that the Commission members could also respond to Ms. Green's notice that the packet was on GoodReader with their questions and she would them to Mr. Davoll or Mr. Moon. To avoid conflicts with the quasi-judicial procedures, staff will read the questions and provide the answers at the public hearing.

Public - None.

ADJOURNMENT: The meeting was adjourned at 5:13 p.m.

James Greene, Chairperson

R. Jay Davoll, P.E.
Community Development Director

Backup material for agenda item:

1. CHANGE OF ZONING – Ponkin Road Properties, LLC, from “County” A-1 (ZIP) (Agriculture) to “City” AG-E (Agricultural Estates), for property located south of West Ponkan Road, west of Plymouth Sorrento Road. (Parcel ID #: 25-20-27-0000-00-003)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	July 14, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Zoning Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map

SUBJECT: **PONKIN ROAD PROPERTY, LLC – CHANGE OF ZONING**

PARCEL ID NUMBER: **25-20-27-0000-00-003**

Request: **CHANGE OF ZONING**
FROM: “COUNTY” A-1 (ZIP)(AGRICULTURE)
TO: “CITY” AG-E (AGRICULTURE ESTATES)

SUMMARY

OWNER/APPLICANT: Ponkin Road Property, LLC

LOCATION: South of West Ponkan Road, west of Plymouth Sorrento Road

EXISTING USE: Single-family home

FUTURE LAND USE: Residential Low Suburban (0-2 du/ac)

ZONING: “County” A-1 (ZIP) (Agriculture)

PROPOSED ZONING: AG-E (min. lot area of 2.5 acres)

PROPOSED DEVELOPMENT: Cellular telecommunications tower

TRACT SIZE: 7.28 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT:

EXISTING ZONING:	1 Residential Units
PROPOSED ZONING:	3 Residential Units

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

ADDITIONAL COMMENTS:

The subject property was annexed into the City of Apopka on December 17, 2014, through the adoption of Ordinance No. 2395. The proposed zoning change is compatible with the character of the surrounding area and the subject parcels are vacant. The applicant has requested the AG-E zoning to assure that the 7.28-acre parcel can be consistent with the Residential Low Suburban future land use designation. The property owner intends to use the property for a cellular telecommunications tower, which will require a separate special exception application to address the site and other requirements for a telecommunications tower within the AG-E zoning district, pursuant to Sec. 75-27 of the Apopka Code of Ordinances.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed AG-E rezoning is consistent with the proposed Future Land Use Designation of Residential Low Suburban (up to two units per acre) for this property. Minimum lot size for property assigned the AG-E zoning category is 2.5 acres.

SCHOOL CAPACITY REPORT: The proposed rezoning will not result in an increase in the number of residential units which could be developed at the subject property. A capacity enhancement agreement with OCPS is not necessary because the impacts on schools will be de minimus.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on June 12, 2015.

PUBLIC HEARING SCHEDULE:

July 14, 2015 - Planning Commission (5:01 pm)
August 5, 2015- City Council (1:30 pm) - 1st Reading
August 19, 2015 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

June 26, 2015 – Public Notice and Notification
August 7, 2015 – Ordinance Heading Ad/¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG-E for the parcel owned by Ponkin Road Property, LLC.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban (0-2 du/ac) Rural (0-1 du/10 ac)	A-1 (ZIP) A-1	Vacant Residential & Manufactured home
East (City) & (County)	Residential Low Suburban (0-2 du/ac) Rural (0-1 du/10 ac)	A-1 (ZIP) A-1	Warehousing & Single-family home
South (City)	Rural (0-1 du/10 ac)	A-1	Vacant
West (County)	Rural (0-2 du/ac)	A-1 (ZIP)	Vacant Residential

**LAND USE & TRAFFIC
 COMPATIBILITY:**

The subject property fronts and is accessed by a local roadway (W Ponkan Road).

The zoning application covers approximately 7.28 acres. The property owner intends to use the property for one (1) single-family residence.

**COMPREHENSIVE
 PLAN COMPLIANCE:**

The proposed AG-E zoning is consistent with the City’s Residential Low Suburban (0-2 du/ac) Future Land Use designation and with the character of the surrounding area and future proposed development. Per Section 2.02.01, Table II-1, of the Land Development Code, AG zoning is one of the acceptable zoning districts allowed within the Residential Low Density Future Land Use designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**AG-E DISTRICT
 REQUIREMENTS:**

- Minimum Living Area: 2,200 sq. ft.
- Minimum Site Area: 2.5 acres
- Minimum Lot Width 150 ft.
- Setbacks: Front: 45 ft.
- Rear: 50 ft.
- Side: 35 ft.
- Corner 35 ft.

Based on the above zoning standards, the existing 7.28 acre parcel complies with code requirements for the AG-E district.

**BUFFERYARD
 REQUIREMENTS:**

Developments shall provide a minimum six-foot high brick or stone finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall.

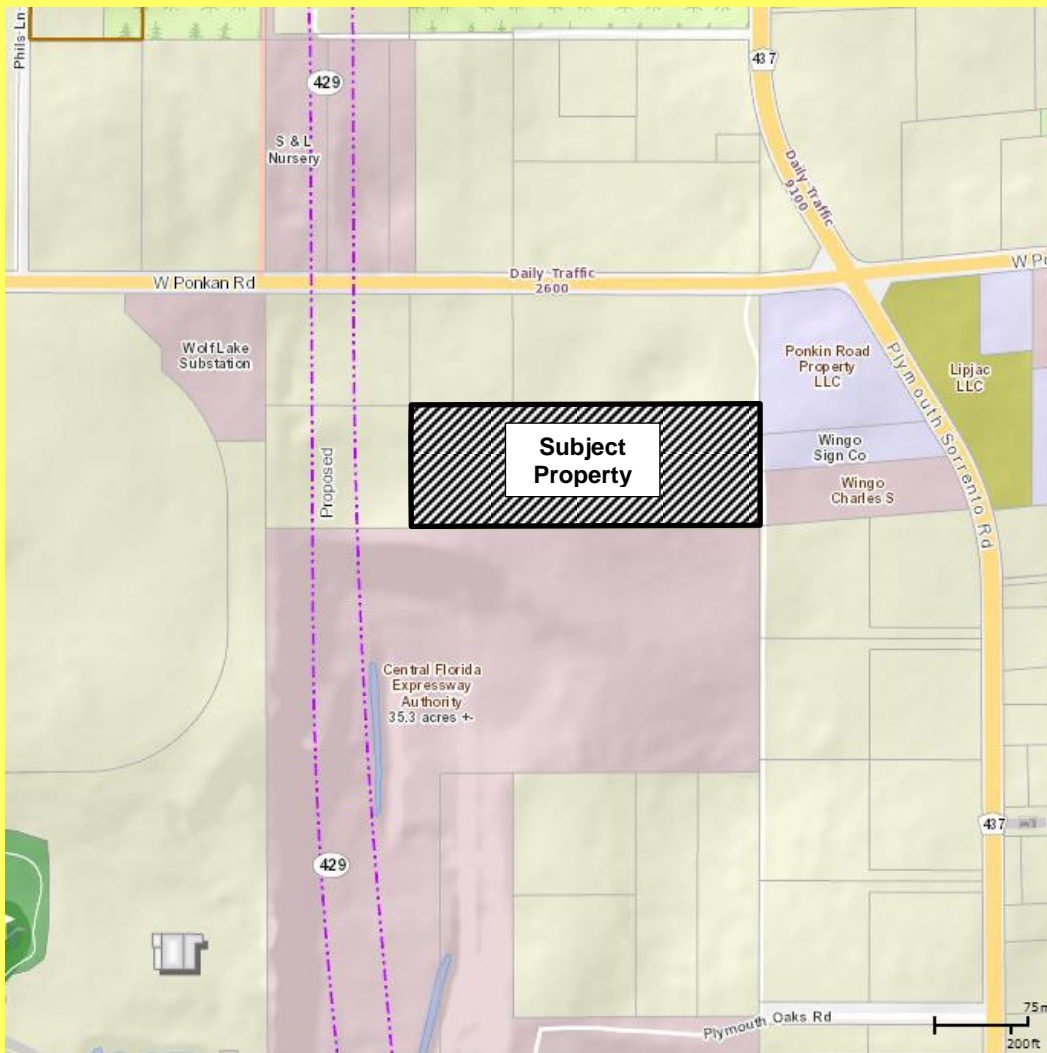
ALLOWABLE USES:

Single-family dwellings providing they are consistent with the stated purpose of the AG-E zoning district. Commercial wholesale foliage plant production nurseries, livestock barns and stables, crop and animal production and support buildings.



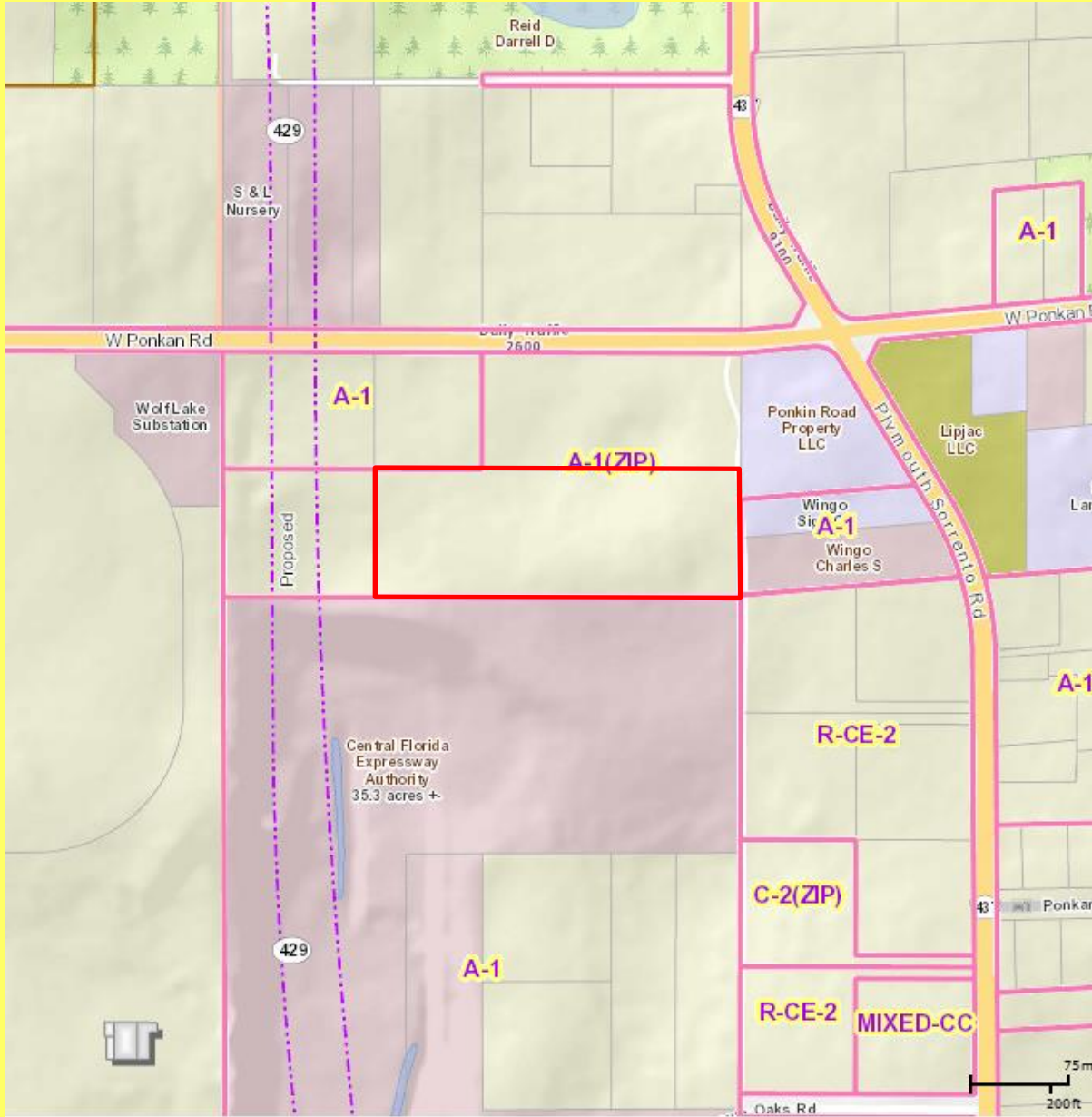
Ponkin Road Property, LLC
7.28 +/- Acres
Existing Maximum Allowable Development: 1 dwelling units
Proposed Maximum Allowable Development: 3 dwelling units
Proposed Zoning Change
From: "County" A-1 (ZIP)
To: "City) AG-E
Parcel ID #s: 25-20-27-0000-00-003

VICINITY MAP



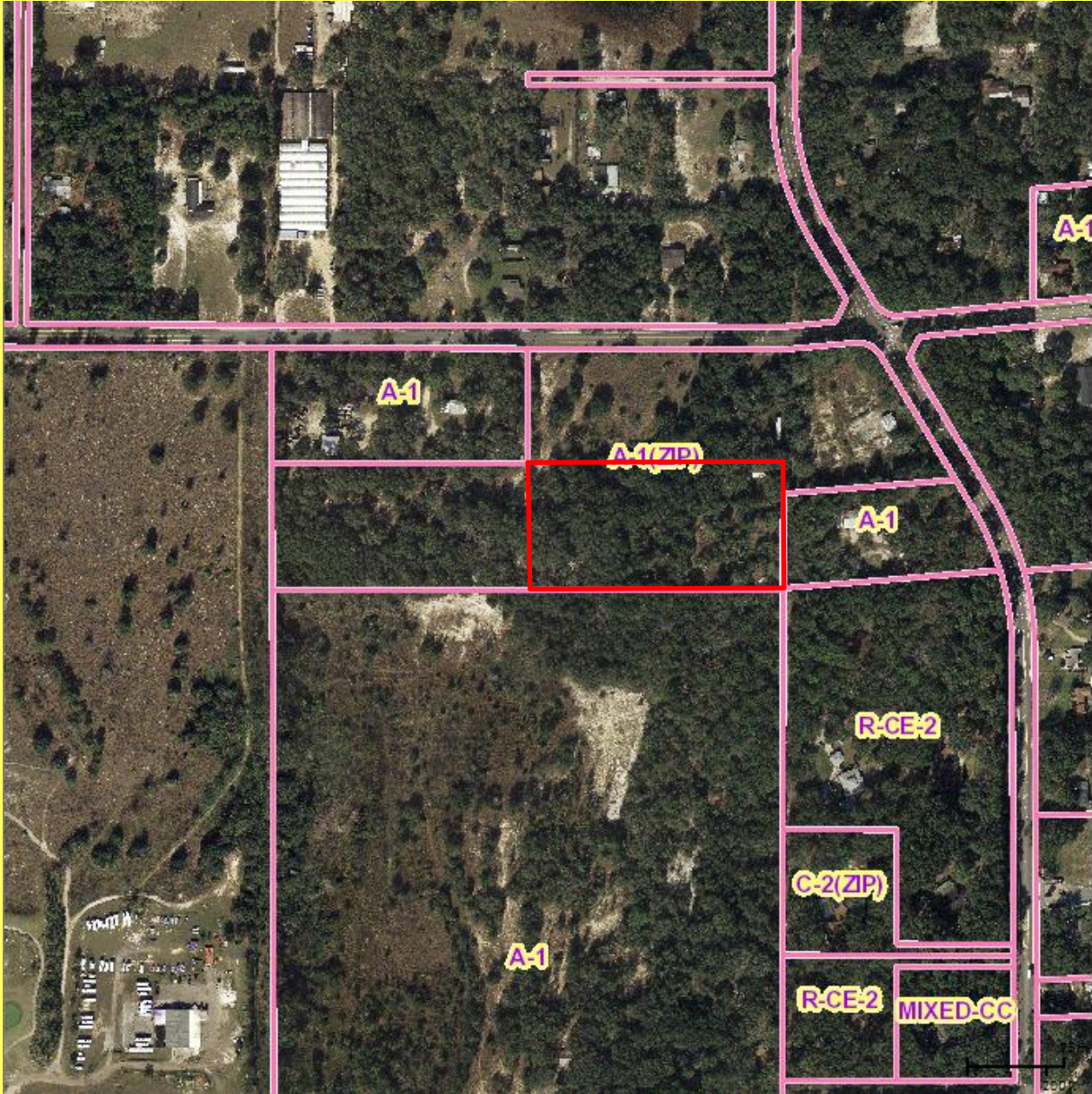


ADJACENT ZONING





ADJACENT USES



Backup material for agenda item:

2. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – VSI Custom Homes, from “County” Rural (0-1 du/10 ac) to “City” Rural Settlement (0-1 du/5 ac), for property located south of East 6th Street, west of Orange Blossom Trail. (Parcel ID #s: 10-21-28-8652-07-010 & 10-21-28-8652-08-060)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	July 14, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map

SUBJECT: VSI CUSTOM HOMES – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT

PARCEL ID NUMBER: 10-21-28-8652-07-010 & 10-21-28-8652-08-060

Request: COMPREHENSIVE PLAN - SMALL SCALE
FUTURE LAND USE AMENDMENT
FROM: “COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC)
TO: “CITY” RESIDENTIAL LOW (0-5 DU/AC)

SUMMARY

APPLICANT: Jim Hall - Vanasse Hangen Brustlin, Inc. (VHB)

OWNER: VSI Custom Homes

LOCATION: South of E 6th Street, west of Orange Blossom Trail

EXISTING USE: Vacant

CURRENT ZONING: “County” R-2 (ZIP) (“City” R-2 proposed)

PROPOSED DEVELOPMENT: Single-family home or duplex

PROPOSED ZONING: “City” R-2 (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” R-2 (ZIP) to “City” R-2.)

TRACT SIZE: 3.6 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 14 Units
PROPOSED: 18 Units

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir.
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject property was annexed into the City of Apopka on December 7, 2007, through the adoption of Ordinance No. 1898. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Residential Low is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 3.6 acres. The property owner intends to use the site for a residential development.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Rural Settlement Future Land Use designation and the City’s proposed R-2 Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: The proposed rezoning will not result in an increase in the number of residential units which could be developed at the subject property. A capacity enhancement agreement with OCPS is not necessary because the impacts on schools will be de minimus.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on June 12, 2015.

PUBLIC HEARING SCHEDULE:

July 14, 2015 - Planning Commission (5:01 pm)
August 5, 2015- City Council (1:30 pm) - 1st Reading
August 19, 2015 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

June 26, 2015 – Public Notice and Notification
August 7, 2015 – Ordinance Heading Ad w/Map/¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in Future Land Use from “County” Rural (0-1 du/10 ac) to “City” Rural Settlement (0-1 du/5 ac) for the property owned by VSI Custom Homes.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Institutional/Public Use	PO/I & C-2	R-O-W & stormwater/retention pond
East (City)	Commercial	C-2	Single-family home
South (City)	Residential Low (0-5 du/ac)	R-1 (ZIP)	Single-family home
West (City)	Residential Low (0-5 du/ac)	R-1AA	Single-family home

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with this development of low density residential. The property lies south of East 6th Street and west of Orange Blossom Trail.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is not located within “Core Area” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The Property fronts East 6th St. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 5-12 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.e Residential Low Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Rural Settlement (0-1 du/5 ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (City designation): 14 Unit(s) x 2.659 p/h = 37 persons

PROPOSED (City designation): 18 Unit(s) x 2.659 p/h = 48 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 2744 GPD
3. Projected total demand under proposed designation: 3528 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;
177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 6356 GPD
3. Projected total demand under proposed designation: 8172 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment:
None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 148 lbs./person/day
4. Projected LOS under proposed designation: 192 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21.981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: No

Drainage Analysis

1. Facilities serving the site: Martins Pond
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

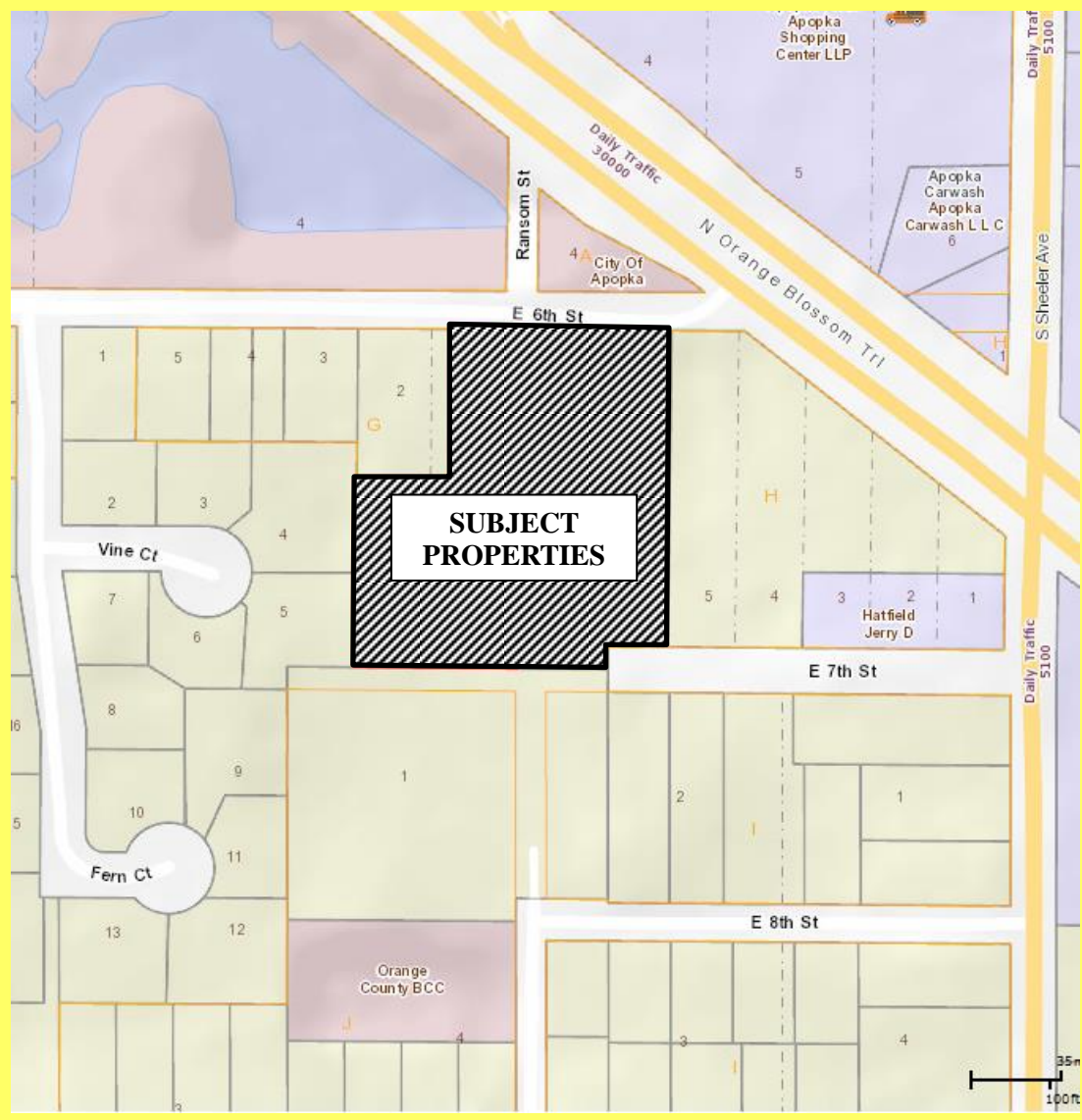
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.111 AC
3. Projected facility under proposed designation: 0.144 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

VSI Custom Homes, LLC
3.6 +/- Acres
Existing Maximum Allowable Development: 14 dwelling units
Proposed Maximum Allowable Development: 18 dwelling units
Proposed Small Scale Future Land Use Change
From: "County" Low Density Residential (0-4 du/ac)
To: "City" Residential Low (0-5 du/ac)
Proposed Zoning Change
From: "County" R-2 (ZIP)
To: "City" R-2
Parcel ID #: 10-21-28-8652-07-010 & 10-21-28-8652-08-060

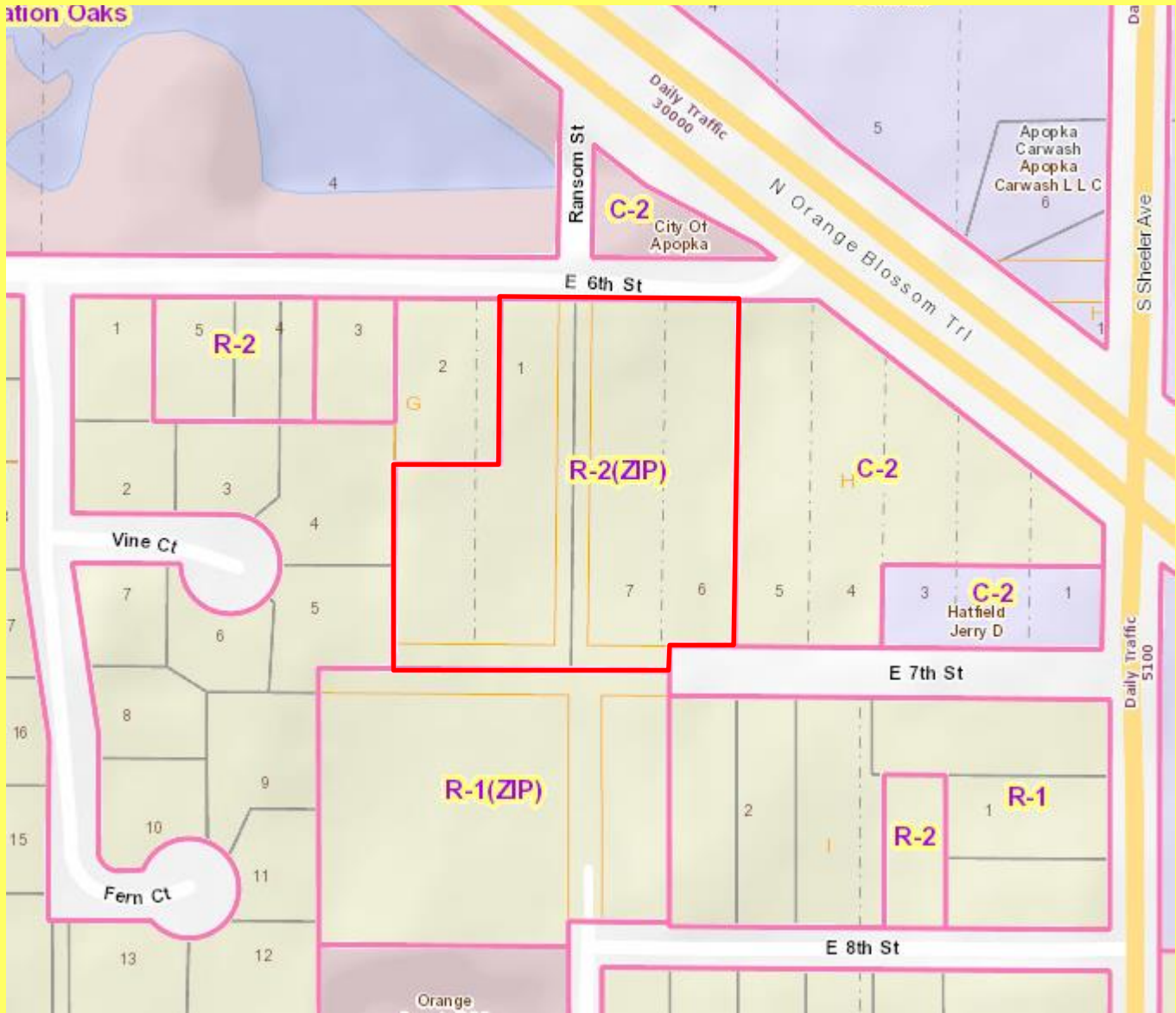


VICINITY MAP



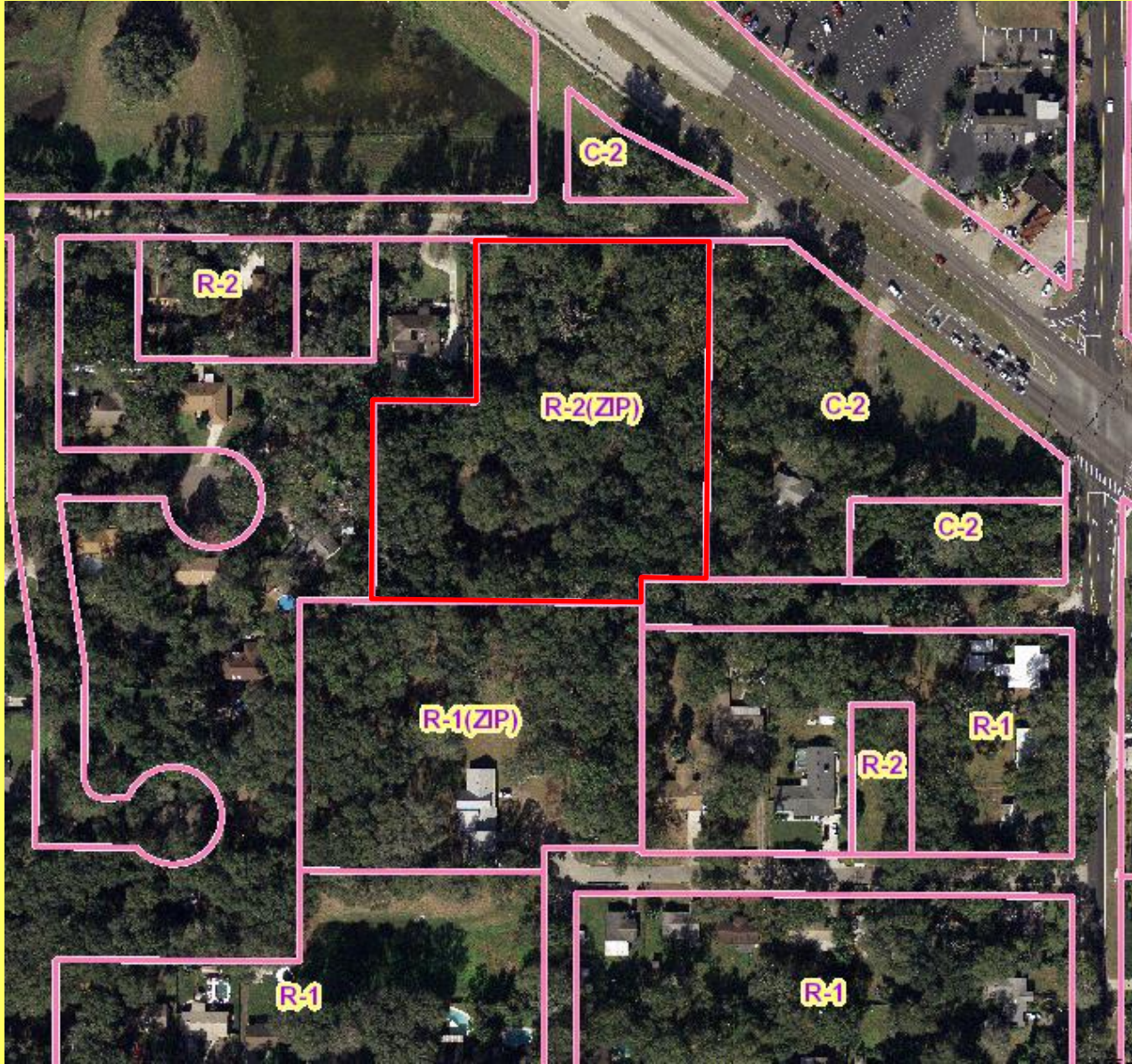


ADJACENT ZONING



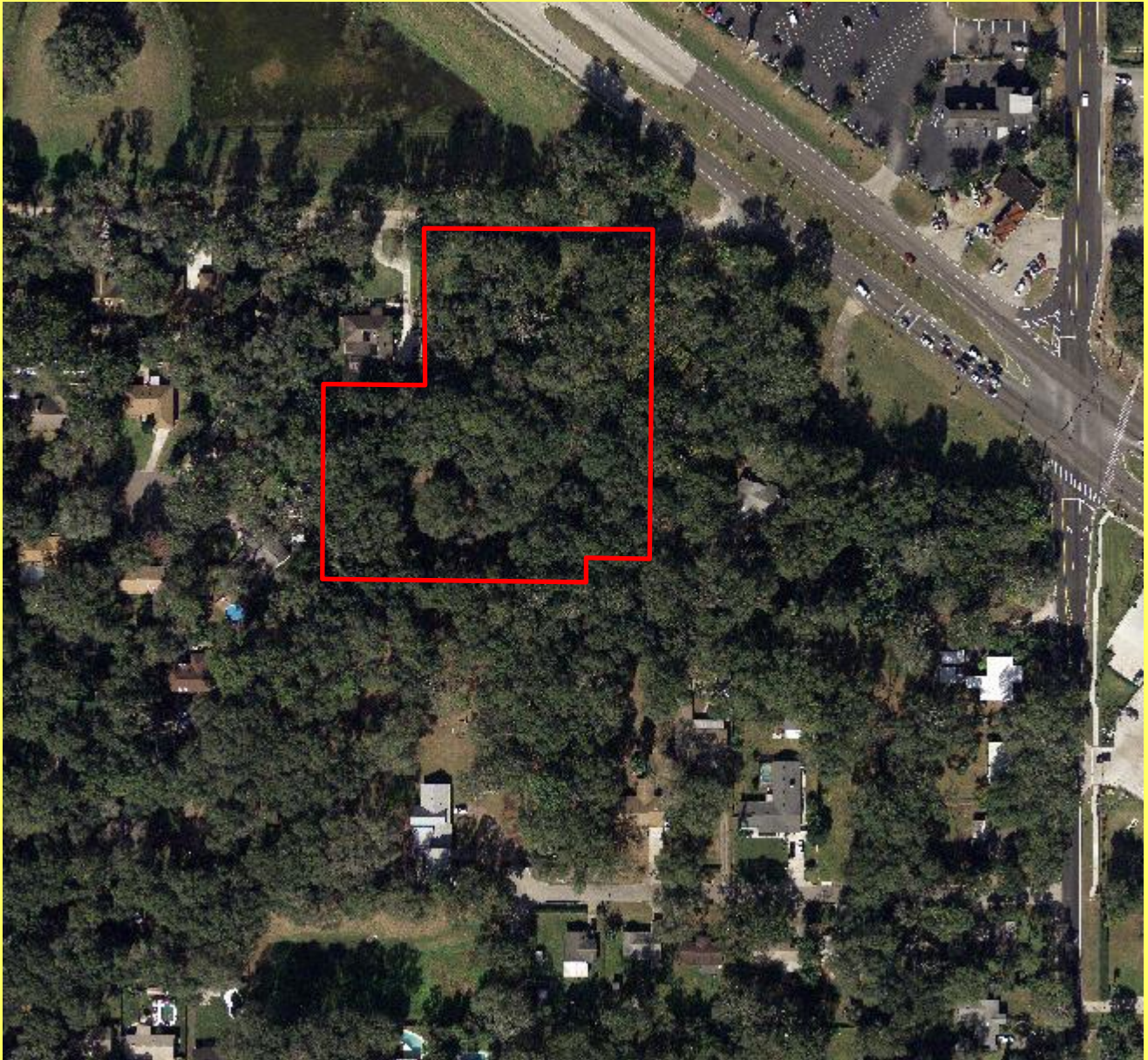


ADJACENT USES





EXISTING USES



Backup material for agenda item:

3. CHANGE OF ZONING – VSI Custom Homes, from “County” R-2 (ZIP) to “City” R-2, for property located south of East 6th Street, west of Orange Blossom Trail. (Parcel ID #s: 10-21-28-8652-07-010 & 10-21-28-8652-08-060)



**CITY OF APOPKA
PLANNING COMMISSION**

<input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> ANNEXATION <input type="checkbox"/> PLAT APPROVAL <input type="checkbox"/> OTHER:	DATE: July 14, 2015 FROM: Community Development EXHIBITS: Zoning Report Vicinity Map Adjacent Zoning Map Adjacent Uses Map Existing Uses Map
--	--

SUBJECT: VSI CUSTOM HOMES – CHANGE OF ZONING

PARCEL ID NUMBER: 10-21-28-8652-07-010 & 10-21-28-8652-08-060

Request: CHANGE OF ZONING
FROM: “COUNTY” R-2 (ZIP) (RESIDENTIAL)
TO: “CITY” R-2 (RESIDENTIAL)

SUMMARY

APPLICANT: Jim Hall - Vanasse Hangen Brustlin, Inc. (VHB)

OWNER: VSI Custom Homes

LOCATION: South of East 6th Street, west of Orange Blossom Trail

EXISTING USE: Vacant

FUTURE LAND USE: “County” Low Density Residential (0-4 du/ac)

PROPOSED
LAND USE: “City” Residential Low (0- 5 du/ac) (Note: this Change of Zoning amendment request is being processed along with a request to change the Future Land Use Map designation from “County” Low Density Residential to “City” Residential Low (0-5 du/ac).

ZONING: “County” R-2 (ZIP) (Residential)

PROPOSED ZONING: “City” R-2 (min. lot area of 7,500 sq. ft. for single-family homes or 15,000 sq. ft. for duplex)

PROPOSED
DEVELOPMENT: Single-family or duplex residential development

TRACT SIZE: 3.6 +/- acres

MAXIMUM ALLOWABLE
DEVELOPMENT: EXISTING ZONING: 14 Residential Units
 PROPOSED ZONING: 18 Residential Units

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

ADDITIONAL COMMENTS:

Presently, the subject properties have not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a zoning category to the subject properties that is comparable to that which was already assigned by Orange County government – R-2 residential.

The subject properties were annexed into the City of Apopka on December 7, 2007, through the adoption of Ordinance No. 1898. The proposed zoning change is compatible with the character of the surrounding area and the subject parcels are vacant. The applicant has requested the R-2 zoning to assure that the property can be developed for single-family or duplex residential. The property comprises approximately 3.6 acres.

The subject properties are located within the Downtown Development Overlay district. Any future residential development would be subject to the development design standards for this overlay district (see Exhibit A for applicable conditions).

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed R-2 rezoning is consistent with the proposed Future Land Use Designation of Residential Low (up to five units per acre) for this property. Minimum lot size for property assigned the R-2 zoning category is 7,500 sq. ft. for single-family homes and 15,000 sq. ft. for duplex development.

SCHOOL CAPACITY REPORT: The proposed rezoning will result in a minimal increase in the number of residential units which could be developed at the subject property. Because increase is considered de minimus (i.e., net increase of 9 or fewer units), the School Planning Agreement designates the school impact as de minimus, exempting this application from School Capacity Enhancement review. A preliminary or final development plan will be subject to school concurrency review.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on June 12, 2015.

PUBLIC HEARING SCHEDULE:

July 14, 2015 - Planning Commission (5:01 pm)
August 5, 2015 - City Council (1:30 pm) - 1st Reading
August 19, 2015 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

June 26, 2015 – Public Notice and Notification
August 7, 2015 – Ordinance Heading Ad/¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the change in Zoning from “County” R-2 (ZIP) to “City” R-2 for the parcel owned by VSI Custom Homes.

27 This item is considered quasi-judicial. The staff report and its findings are to be incorporated into made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

North (City)	Institutional/Public Use	PO/I & C-2	R-O-W & stormwater/retention pond
East (City)	Commercial	C-2	Single-family home
South (City)	Residential Low (0-5 du/ac)	R-1 (ZIP)	Single-family home
West (City)	Residential Low (0-5 du/ac)	R-1AA	Single-family home
North (City)	Institutional/Public Use	PO/I & C-2	R-O-W & stormwater/retention pond

LAND USE & TRAFFIC COMPATIBILITY:

The subject property fronts and is accessed by a local roadway (E 6th Street).

The zoning application covers approximately 3.6 acres. The property owner intends to use the property for residential development.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-2 zoning is consistent with the City’s Residential Low (0-5 du/ac) Future Land Use designation and with the character of the surrounding area and future proposed development. Per Section 2.02.01, Table II-1, of the Land Development Code, R-2 zoning is one of the acceptable zoning districts allowed within the Residential Low Density Future Land Use designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

R-2 DISTRICT REQUIREMENTS:

- Minimum Living Area: 1,350 sq. ft. (Single-family or Duplex)
- Minimum Site Area: 7,500 sq. ft. (Single-family)
15,000 sq. ft. (Duplex)
- Minimum Lot Width: 70 ft. (Single-family)
140 ft. (Duplex)
- Setbacks: Front: 25 ft.
Rear: 20 ft.
Side: 7.5 ft. (Single-family)
10 ft. (Duplex)
Corner: 25 ft.

Based on the above zoning standards, the existing 3.6 acre parcels comply with code requirements for the R-2 district.

BUFFERYARD REQUIREMENTS:

Developments shall provide a six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick, or decorative block finish.

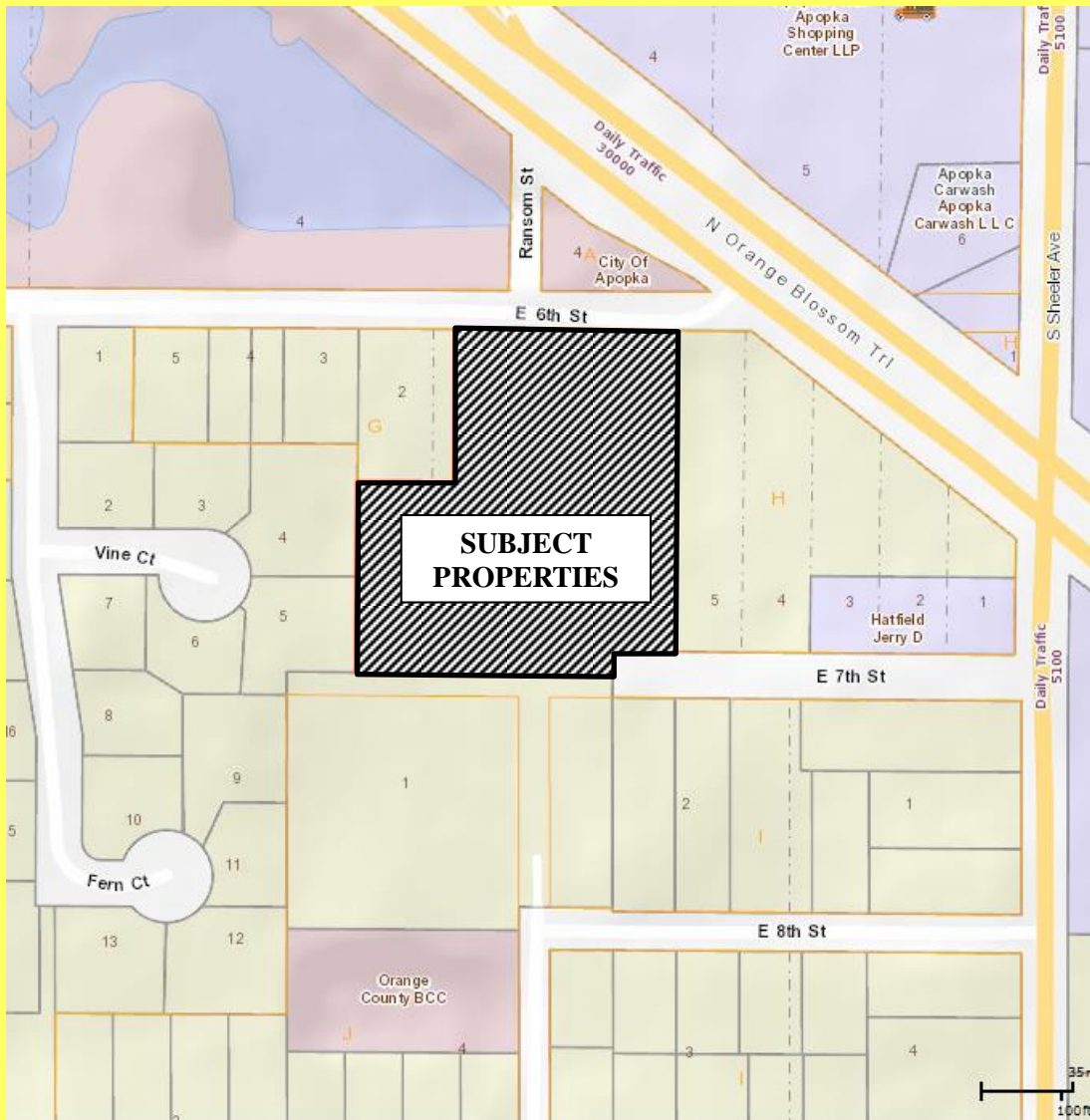
ALLOWABLE USES:

One and two-family dwelling structures, including customary accessory structures and Uses in accordance with article VII of Land Development Code. One-family garage apartment providing the principal building is a one-family dwelling unit.



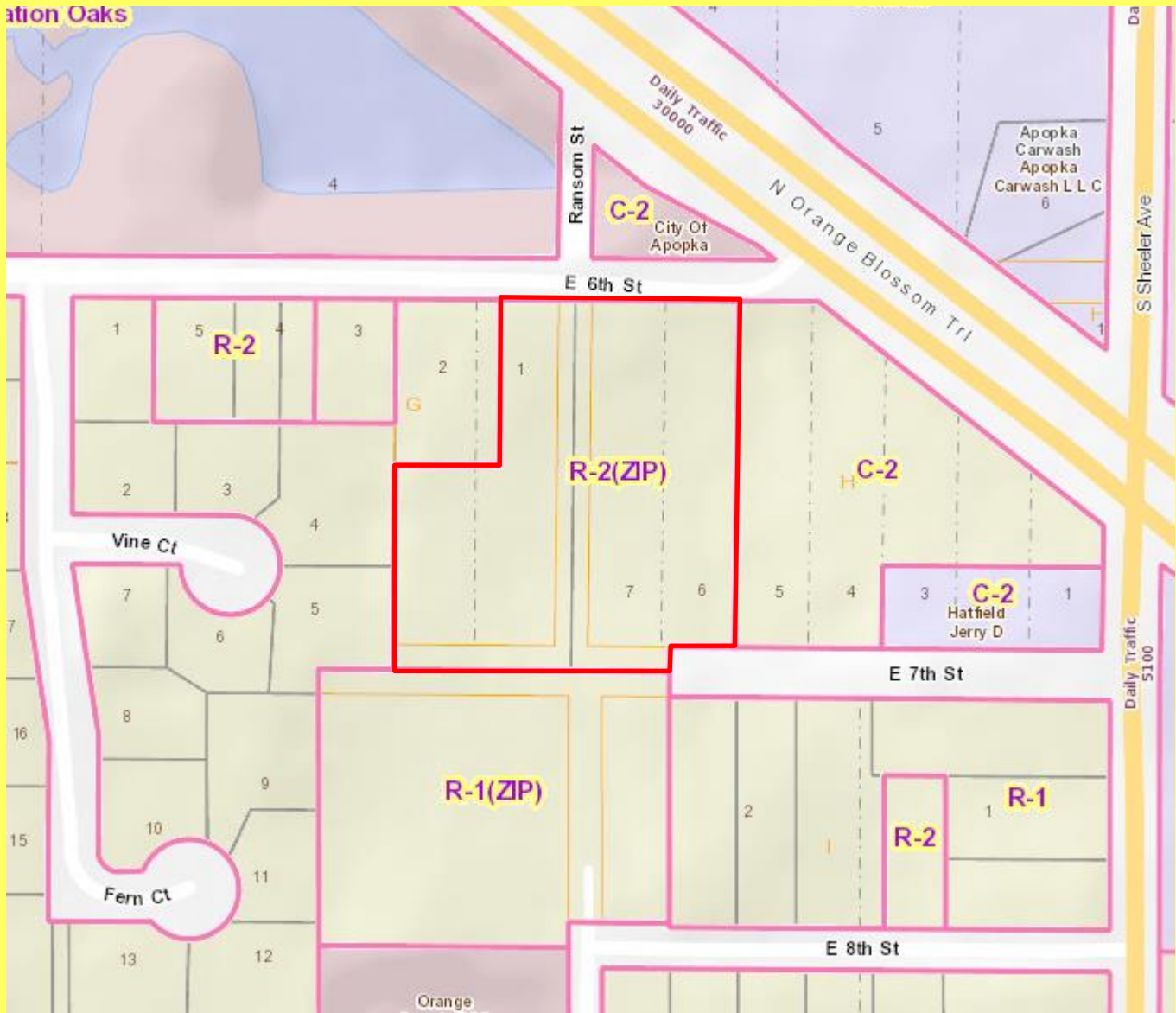
VSI Custom Homes, LLC
3.6 +/- Acres
Existing Maximum Allowable Development: 14 dwelling units
Proposed Maximum Allowable Development: 18 dwelling units
Proposed Small Scale Future Land Use Change
From: "County" Low Density Residential (0-4 du/ac)
To: "City" Residential Low (0-5 du/ac)
Proposed Zoning Change
From: "County" R-2 (ZIP)
To: "City" R-2
Parcel ID #: 10-21-28-8652-07-010 & 10-21-28-8652-08-060

VICINITY MAP



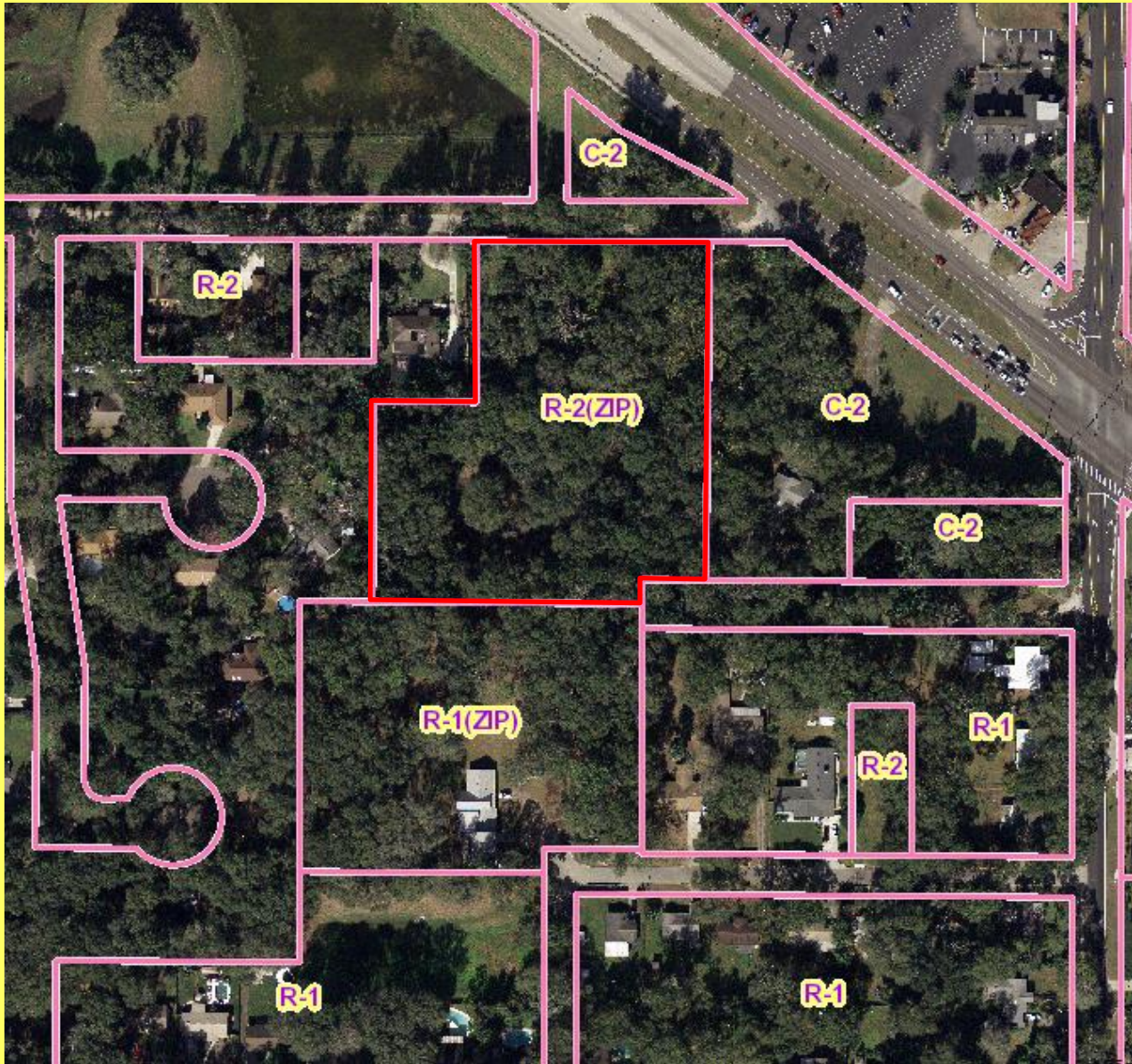


ADJACENT ZONING



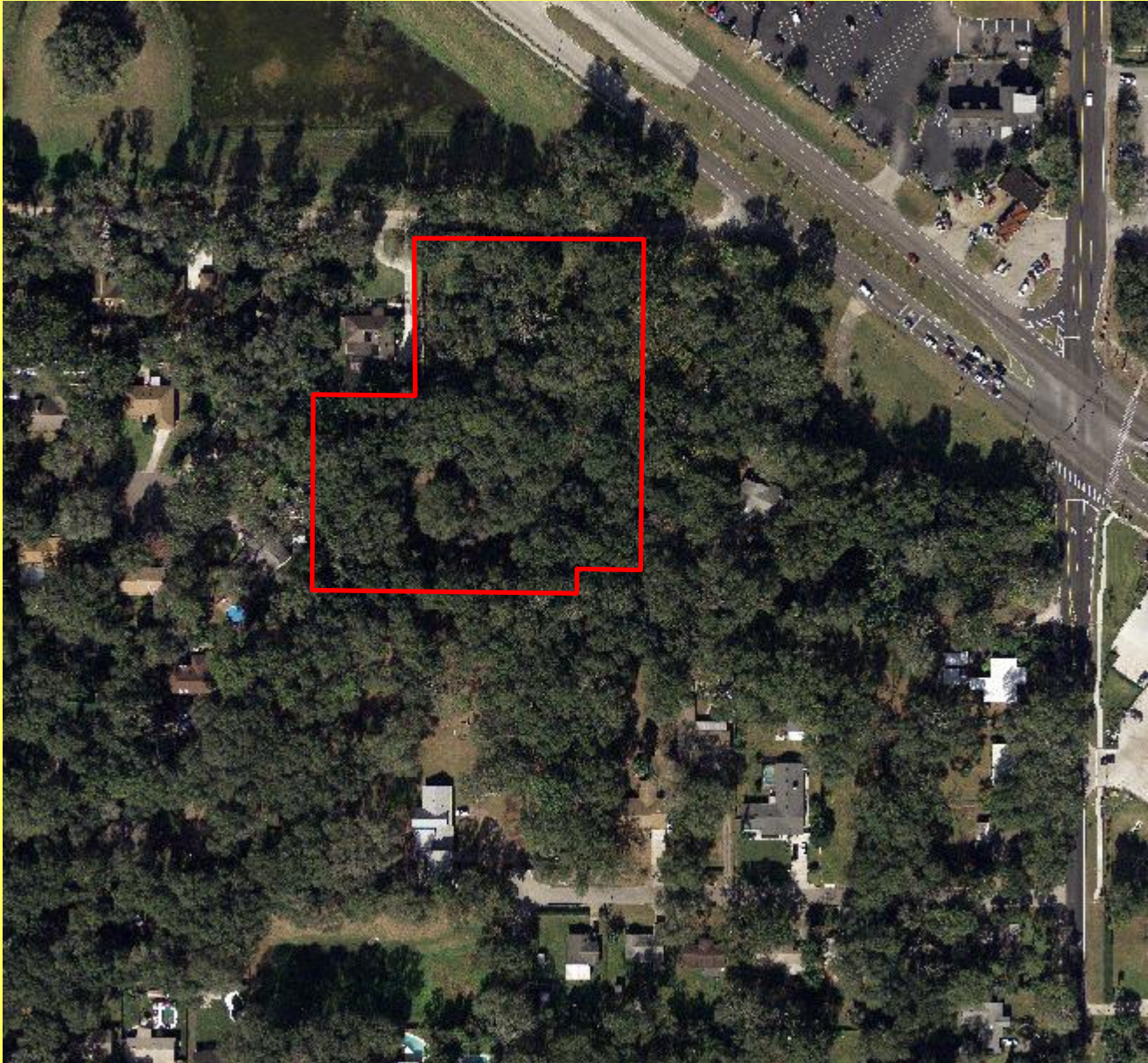


ADJACENT USES





EXISTING USES



‘Exhibit A’ – Downtown Development Overlay Zoning District Residential Design (Sec. 3.03.00 Part H)

H. Residential design.

1. All new residential homes within the downtown development overly zoning district shall meet the following style criteria:
 - Tudor
 - Victorian
 - Cape Code
 - Colonial
 - “Florida Vernacular”
 - Plantation
 - Other architecture design styles which are in keeping with the history of Apopka, as approved by the city’s redevelopment advisory board.
2. Primary residential entries shall face the street and shall not be recessed more than six feet from the face of the primary façade.
3. All residential façade must have a minimum of two different building materials to provide sufficient architectural diversity.
4. The addition of at least one of the following should be incorporated in the design and layout of the home: porch, veranda, patio, terrace, balcony or sitting area not obstructing doorway entrances.
5. Porches may extend six feet into the front yard setback if it is at least six feet deep and comprises a minimum of 30 percent of the façade.
6. Roofing material shall be wood shingles, slate, tile, sheet metal or asphalt shingles that resemble traditional materials.

I. *Residential lot sizes.* Within the downtown development overlay zoning district a number of the lots were platted as part of the historic Town of Apopka subdivision with minimum lot sizes at 50 feet in width and lot area at 7,500 square feet. These types of lot sizes tend to be located within the established R-1 zoning district. In keeping with the traditional lot sizes within the R-1 zoning district, the minimum single-family lot standards are as follows:

1. R-1 Lot width: Minimum 50 feet
2. R-1 Lot size: Minimum 7,500 square feet
3. R-1 Setbacks: Front 25 feet, sides 7.5 feet, rear 20 feet, and corners 15 feet
4. R-1 Minimum living area: 1,350 square feet

Backup material for agenda item:

1. FINAL DEVELOPMENT PLAN – Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E., property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No. 17-21-28-0000-00-029)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	July 14, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity Map
<input type="checkbox"/> OTHER:		Site Plan
		Architecture Elevations
		Landscape Plan
		Hardscape Plan
		Lighting Plan

SUBJECT: MARDEN RIDGE APARTMENTS - PHASE 1B - FINAL DEVELOPMENT PLAN

Request: RECOMMEND APPROVAL OF THE MARDEN RIDGE APARTMENTS FINAL DEVELOPMENT PLAN. (PARCEL ID NUMBER: 17-21-28-0000-00-029)

SUMMARY

OWNERS: Emerson Point Associates, LLLP

APPLICANT: MMI Development, Inc., c/o Michael E. Wright, Esq.

ENGINEER: GAI Consultants, Inc., c/o Anthony Call, P.E.

LOCATION: Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the S.R. 414

EXISTING USE: Planted Pine

FUTURE LAND USE: Residential High (0-15du/ac)

CURRENT ZONING: R-3

PROPOSED DEVELOPMENT: Apartment (272 units/5 Buildings)

PROPOSED ZONING: Planned Unit Development (PUD/R-3)

TRACT SIZE: Apartments: 18.05 +/- Acres
Overall Site: 42.17 +/- Acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 536 Units (35.74 ac)
PROPOSED: 272 Units (Phase 1B) on 18.05 ac

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<u>Direction</u>	<u>Future Land Use</u>	<u>Zoning</u>	<u>Present Use</u>
North (City)	Commercial	C-1	Vacant Land
East (City) East County	Res. Medium (0-10 du/ac) Low Medium Density Res. (10 du/ac)	R-3 R-2	Vacant Land Apartments
South (City)	Mixed Use (0-15 du/ac)	M-EC	Vacant Land
West (City)	Industrial	I-1	Northwest Distribution

ADDITIONAL COMMENTS: The Marden Ridge Apartments Phase 1B - Final Development Plan proposes 272 apartment units located on approximately 18.05 acres within 42.17 +/- acres site. The overall site is comprised of 6.43 acres being designated for Commercial (C-1) use and 35.74 acres of the property designated for Residential High (PUD/R-3) use. Development of the remaining 17.69 acres of residential land will occur at a later date through a separate Preliminary Development Plan application, as will development of the 6.43 acres of land assigned the C-1 commercial zoning category. The developer has proposed five (5), four (4) story buildings at approximately fifty-eight (58) feet in height; with a projected population of 784 people. The PUD/R-3 zoning district allows for the construction of apartments with a minimum living area of 750s.f. per unit.

EXTERIOR ELEVATIONS: The design of the building exterior meets the intent of the City’s Development Design Guidelines.

PARKING: The developer has proposed 544 parking spaces which meet the City’s Land Development Code.

LDC 6.03.02. - Number of parking spaces required.

Residential dwelling units, single-family, duplex, multifamily	2 spaces per dwelling unit
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ACCESS: Ingress/egress for the development will be via two (2) full access points from Marden Road.

STORMWATER: The stormwater management system includes on-site retention ponds. The developer has provided three (3) dry retention ponds designed to meet the City’s Land Development Code requirements.

RECREATION: The developer is proposing 2.98 acres (129,809 sq. ft.) of passive and active recreation space. Some of the proposed amenities: clubhouse (6,183s.f.), swimming pool and tot lot. At the time of the final development plan application, details of active and passive recreation equipment and facilities will be submitted for the City’s review.

ENVIRONMENTAL: A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity.

OPEN SPACE: The developer is proposing 12.89 acres of open space to meet the thirty (30) percent PUD zoning standards.

TREE PROGRAM: The planted pine located on this site is exempt from the arbor mitigation requirements and was harvested for silviculture purposes. The maximum tree stock formula requires a total of 2,752 tree inches to be replanted onto the site. The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program.

SCHOOL CAPACITY REPORT: No development activity can occur until such time that a concurrency mitigation agreement or letter has been approved by OCPS. The applicant has applied to OCPS for this agreement. The schools designated to serve this community are the following: Wheatley Elementary, Wolf Lake Middle and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

BUFFERS: The applicant is requesting a waiver to install a six-foot high wrought iron fence between brick columns for the perimeter wall, erected inside a ten foot landscaped buffer along Marden Road and State Road 451.

WAIVER REQUEST

The applicant is requesting a waiver from LDC 2.20.07.H.1a which requires a six-foot-high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. The applicant is proposing a six-foot high wrought iron fence between brick columns with additional landscaping adjacent to external roads.

- **Staff does not object to this waiver request.**

PUBLIC HEARING SCHEDULE:

July 14, 2015 - Planning Commission (5:01 pm)
August 5, 2015- City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Marden Ridge Apartments Ph.1B Final Development Plans subject to the information and comments in the staff report for the property owned by Emerson Point Associates, LLLP.

Planning Commission Recommendation: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code

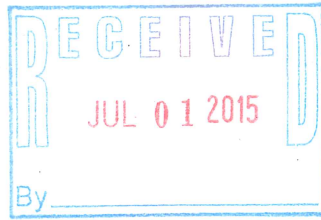
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



Marden Ridge Apartments Ph. 1B
Emerson Point Associates, LLLP
MMI Development, Inc. c/o Michael E. Wright, Esq.
Apartments: 18.05 +/- Acres (272 Units)
42.17 +/- Total Acres
Parcel ID #: 17-21-28-0000-00-029

VICINITY MAP





MARDEN RIDGE APARTMENTS - PHASE 1B FINAL DEVELOPMENT PLANS

PARCEL ID #17-21-28-0000-00-29

LEGAL DESCRIPTION:

(PER ORB 9799 PG 5971)

A PARCEL OF LAND LYING IN SECTIONS 17 AND 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF EMERSON PARK AS RECORDED IN PLAT BOOK 68, PAGES 1 THROUGH 17, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF MARDEN ROAD; THENCE RUN N 00°15'45" E ALONG SAID WESTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 867.57 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE RUN THE FOLLOWING COURSES AND DISTANCES; N 79°21'18" W FOR A DISTANCE OF 250.77 FEET; THENCE RUN N 76°57'36" W FOR A DISTANCE OF 271.66 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 750.00 FEET; THENCE FROM A TANGENT BEARING OF N 69°25'55" W RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 26°46'44" FOR AN ARC DISTANCE OF 350.53 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 725.00 FEET; THENCE FROM A TANGENT BEARING OF N 38°02'17" W RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 27°58'31" FOR AN ARC DISTANCE OF 353.99 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 1500.00 FEET; THENCE FROM A TANGENT BEARING OF N 01°44'32" W RUN NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 20°26'35" FOR AN ARC DISTANCE OF 535.20 FEET TO A POINT OF TANGENCY; THENCE RUN N 18°42'03" E FOR A DISTANCE OF 159.98 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD 429 (WESTERN BELTWAY) PER ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5442, PAGE 3947, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON A NON TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 7829.44 FEET; THENCE FROM A TANGENT BEARING OF N 24°29'43" E RUN NORTHEASTERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND SAID CURVE THROUGH A CENTRAL ANGLE OF 5°02'40" FOR AN ARC DISTANCE OF 689.30 FEET; THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE RUN N 13°07'16" E FOR A DISTANCE OF 205.68 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 7809.44 FEET; THENCE FROM A TANGENT BEARING OF N 17°57'03" E RUN NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3°51'29" FOR AN ARC DISTANCE OF 525.85 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 437-A (OCCOEE APOPKA ROAD) PER OFFICIAL RECORDS BOOK 5442, PAGE 3947, OF AFORESAID PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING AFORESAID EASTERLY RIGHT OF WAY LINE RUN N 80°33'42" E ALONG SAID SOUTHERLY RIGHT OF WAY LINE FOR A DISTANCE OF 196.20 FEET; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE RUN N 75°23'21" E FOR A DISTANCE OF 182.73 FEET TO A POINT ON AFORESAID WESTERLY RIGHT OF WAY LINE OF MARDEN ROAD; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE RUN S 00°08'34" W FOR A DISTANCE OF 2270.18 FEET; THENCE CONTINUING ALONG SAID WESTERLY RIGHT OF WAY LINE RUN S 00°15'45" W FOR A DISTANCE OF 452.54 FEET TO AFORESAID POINT OF BEGINNING.

42.17 ACRES, MORE OR LESS.

Legal Description prepared by: On the Mark Surveying, LLC
LB 7931

Prepared For:

EMERSON POINT ASSOCIATES, LLLP
1350 North Orange Avenue, Suite 250
Winter Park, FL 32789
(407) 385-0664

Prepared By:



gai consultants
EB 9951
618 EAST SOUTH STREET
SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398



PROJECT LOCATION

LOCATION MAP
CITY OF APOPKA, FLORIDA

CITY OF APOPKA OFFICIALS

MAYOR:
COMMISSIONER:
COMMISSIONER:
COMMISSIONER:
COMMISSIONER:

JOE KILSHEIMER
J. WILLIAM ARROWSMITH
BILLIE L. DEAN
DIANE VELAZQUEZ
SAM RUTH

UTILITY SERVICE PROVIDERS

WATER/SEWER/REUSE City of Apopka 748 E. Cleveland Street Apopka, FL 32703 (407) 703-1731	ELECTRIC Duke Energy 452 E. Crown Point Road Winter Garden, Florida 34787 (407) 905-3302	TELEPHONE Century Link P.O. Box 770339 Winter Garden, Florida 34777 (407) 814-5373	CABLE Bright House 844 Maguire Road Ocoee, Florida 34761 (407) 291-2500	NATURAL GAS Lake Apopka Natural Gas 676 W. Montrose Street Clermont, FL 32701 (352) 394-3480
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CONTACT LIST

OWNER/APPLICANT EMERSON POINT ASSOCIATES, LLLP 1350 North Orange Avenue, Suite 250 Winter Park, FL 32789 (407) 385-0664 Attn: Tommy Ciserano	CIVIL ENGINEER GAI Consultants, Inc. 618 East South Street Suite 700 Orlando, Florida 32801 (407) 423-8398 Attn: Anthony S. Call, P.E.	SURVEYOR On The Mark Surveying, LLC 143 Meadow Blvd. Sanford, FL 32771 (321) 626-6376 Attn: Corey A. Hopkins, PSM	LANDSCAPE ARCHITECT Bellomo-Herbert 618 East South Street Suite 600 Orlando, Florida 32801 (407) 423-8398 ATTN: Frank Bellomo	ARCHITECT Forum Architecture & Interior Design, Inc. 745 Orienta Avenue, Suite 1121 Altamonte Springs, FL 32701 (407) 830-1400 ATTN: Andrew Roark	GEOTECHNICAL ENGINEER Andreyev Engineering, Inc. 1170 West Minneola Avenue Clermont, FL 34711 (352) 241-0508 ATTN: Ed Miguens, P.E.
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Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C1.10	EXISTING SITE DATA
C1.20	GENERAL NOTES
C1.21	GENERAL NOTES
C1.30	PHASING PLAN
C2.00	SWPPP
C2.10	EROSION CONTROL PLAN
C2.20	DESIGN STANDARDS
C3.00	MASTER SITE PLAN
C3.10	SITE PLAN PHASE 1B
C3.20	MARDEN ROAD IMPROVEMENT PLAN
C3.30	SIGNAGE & STRIPING PLAN
C3.40	TRACT DESIGNATION PLAN
C4.00	TYPICAL SECTIONS
C5.00	MASTER GRADING PLAN
C5.10	GRADING PLAN PHASE 1B
C5.10A	GRADING PLAN PHASE 1B
C5.20	GRADING PLAN PHASE 1B
C5.30	GRADING PLAN PHASE 1B
C5.40	DRY POND 1 CROSSECTION
C6.00	MASTER UTILITY PLAN
C7.00	DEVELOPMENT DESIGN STANDARD DETAILS
C7.10	DEVELOPMENT DESIGN STANDARD DETAILS
C7.20	UTILITY DETAILS
C7.30	UTILITY DETAILS
C7.40	DRAINAGE DETAILS
C7.50	LIFT STATION DETAILS
C7.60	LIFT STATION DETAILS
C7.70	ARCHITECTURAL BUILDING ELEVATIONS
C7.80	ARCHITECTURAL BUILDING ELEVATIONS
C7.90	ARCHITECTURAL BUILDING ELEVATIONS
LA.01	LANDSCAPE PLAN
LA.02	LANDSCAPE PLAN
IR.01	IRRIGATION PLAN
IR.02	IRRIGATION PLAN
IR.03	IRRIGATION PLAN
HS.02	LANDSCAPE PLAN (SOUTH)
HA.02	LANDSCAPE PLAN (SOUTH)
L-1	LIGHTING PLANS
L-2	LIGHTING PLANS
L-3	LIGHTING PLANS

COVER SHEET

MARDEN RIDGE APARTMENTS - PHASE 1B FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

ANTHONY S. CALL P.E.
No. 67370

gai consultants
EB 9951
618 SOUTH ST., SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.01

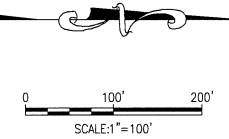
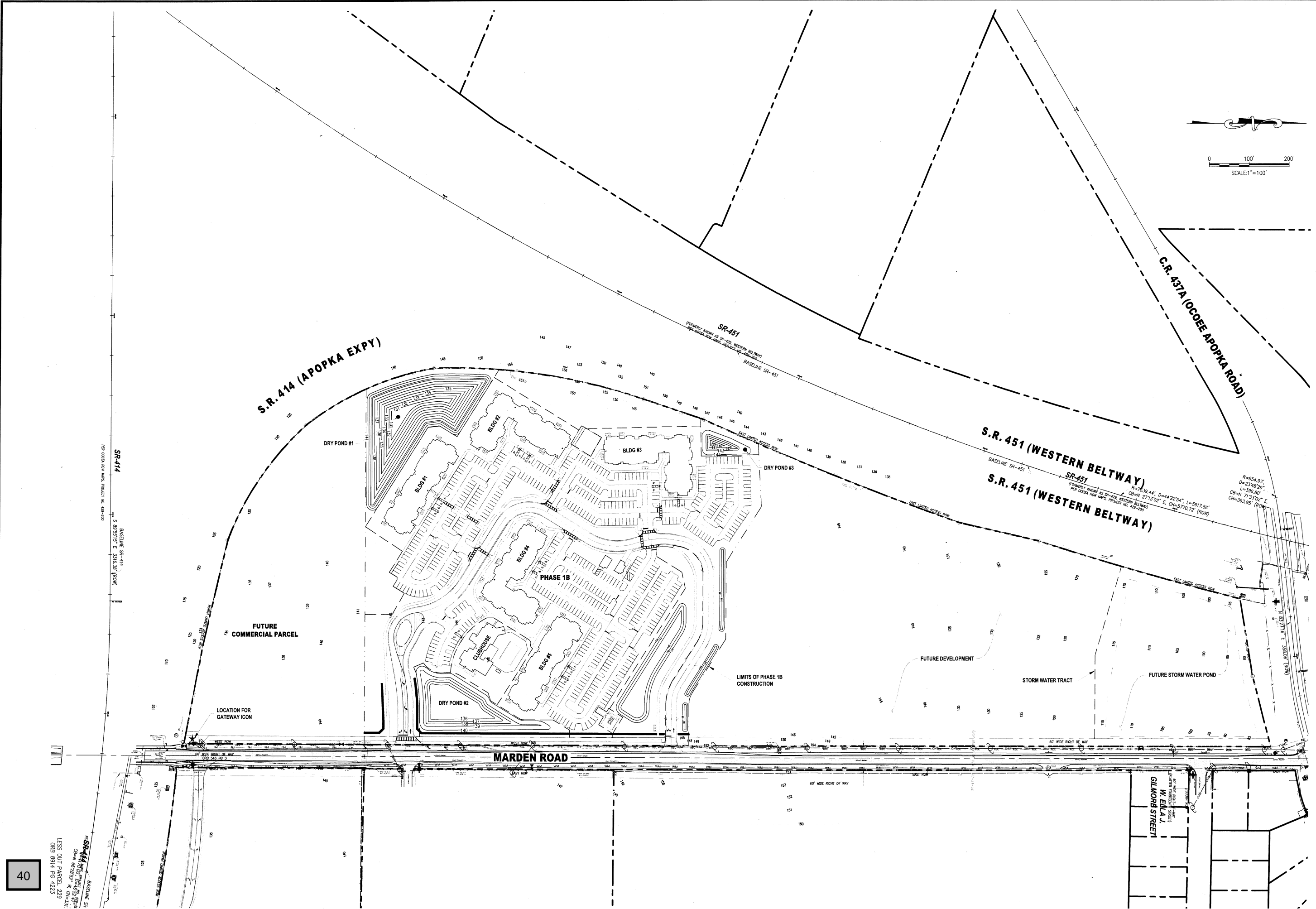
SHEET

C0.00

WAIVER: REQUEST PERIMETER BRICK WALL TO ALLOW BRICK COLUMN/
IRON PICKETS STYLE TO MATCH MARDEN MANOR.

THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

Z:\ComDev\2012\120273.03 - Emerson - Right of Way\Plan SET - Final Development Plans\120273.03_Phd.dwg Jun 26, 2015 - 11:38am



NO.	DATE	BY	CHKD	APPVD	DESCRIPTION
1	6/18/2015				REVISED PER CITY COMMENT

SCALE: 1"=100'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

PHASING PLAN
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

ANTHONY S. CALL, P.E.
 No. 67370

gai consultants
 EB 9951
 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A120273.03
 SHEET
C1.30

SR-414
 BASELINE SR-414
 CB=N 89°55'15" E L=3318.38' (ROW)
 LESS OUT PARCEL 229
 ORB 8914 PG 4223

SR-414
 BASELINE SR-414
 S 89°55'15" E L=3318.38' (ROW)

LOCATION FOR GATEWAY ICON

FUTURE COMMERCIAL PARCEL

MARDEN ROAD

PHASE 1B

S.R. 451 (WESTERN BELTWAY)
 SR-451
 FORMERLY KNOWN AS SR-451 (WESTERN BELTWAY)
 FOR OAKLA FROM MP: PROJECT NO. 429-200
 CB=N 71°33'02" E L=5917.56'
 CH=5770.72' (ROW)
 R=654.93'
 D=23°49'28"
 L=395.80'
 CH=393.95' (ROW)

CR 437A (OCOE APOPKA ROAD)

SR-451
 FORMERLY KNOWN AS SR-451 (WESTERN BELTWAY)
 FOR OAKLA FROM MP: PROJECT NO. 429-200
 BASELINE SR-451

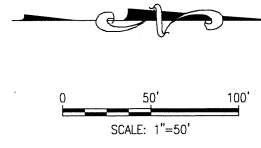
LIMITS OF PHASE 1B CONSTRUCTION

FUTURE DEVELOPMENT

STORM WATER TRACT

FUTURE STORM WATER POND

GILMOR STREET
 W. ELLA L.
 PART OF THE ESTATE OF
 WALTER GILMOR



S.R. 414 (APOPKA EXPY)

DRY POND #1

DRY POND #3

COMMERCIAL AREA OF 6.43 ACRES
WILL BE DEVELOPED IN THE FUTURE
IN ACCORDANCE WITH THE CURRENT LDC

DRY POND #2

MARDEN ROAD

PROPOSED 30'X30'
MONUMENTATION
EASEMENT

PROPOSED 11' SIDEWALK TO CONNECT
TO EXISTING 5' SIDEWALK AT BRIDGE.
EXISTING SIDEWALK WILL NEED TO BE
FIELD VERIFIED AND LOCATED PRIOR
TO CONSTRUCTION.

PROPOSED PAVEMENT

STD. TYPE "F" CURB

STD. TYPE "F" CURB

SEE SHEET C3.20 FOR MARDEN RD IMPROVEMENTS

FUTURE BUS SHELTER AND TURNOUT
SHOWN FOR INFORMATIONAL PURPOSES ONLY
(WILL NOT BE CONSTRUCTED WITH PHASE 1B)

NO.	DATE	BY	CHKD	APPVD	DESCRIPTION
1	6/18/2015				REVISED PER CITY COMMENT

SCALE: 1"=50'
DATE: 6/01/2015
DRAWN: AP/MJC
CHECKED: NCG
APPROVED: ASC

SITE PLAN PHASE 1B
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

ANTHONY S. CALL, P.E.
No. 67370

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03
SHEET
C3.10

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NOTES:

EXISTING PROPERTY VEGETATION:
PINE TREE FARM

FLOOD ZONE:
SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X SEE SHEET C1.10 FOR THE FLOOD INSURANCE RATE MAP PANEL NUMBER.

SOILS:
SHOWN ACCORDING TO THE SOIL SURVEY OF ORANGE COUNTY, FLORIDA, SEE SHEET C1.10.

SIGNAGE:
ALL SIGNAGE SHALL COMPLY WITH CITY OF APOPKA CODES, AND FDOT MUTCD.

LIGHTING:
LIGHTING SHALL COMPLY WITH CITY OF APOPKA CODES. ILLUMINATION PLAN REQUIRED AT FINAL DEVELOPMENT PLAN.

STORMWATER:
STORMWATER MANAGEMENT SYSTEM WILL BE DESIGNED TO COMPLY WITH CITY OF APOPKA CODE AND THE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND APPROVED WITH THE FINAL DEVELOPMENT PLANS.

WATER AND SEWER:
SEWER AND WATER TO BE PROVIDED VIA PRIVATE ONSITE SYSTEM CONNECTED TO THE CITY OF APOPKA UTILITIES WATER MAIN, SEWER FORCE MAIN AND RECLAIM WATER MAIN WITHIN THE MARDEN ROAD RIGHT OF WAY. LIFT STATION WILL BE OWNED AND MAINTAINED BY THE CITY OF APOPKA. THE LIFT STATION TRACT WILL BE DEEDED TO THE CITY.

- RECREATIONAL FACILITIES:**
- ALL RECREATIONAL FACILITIES WILL BE OWNED AND MAINTAINED BY THE OWNER OF THE APARTMENT COMPLEX.
 - LOCK BOXES FOR EMERGENCY ACCESS SHALL BE PROVIDED FOR POOL BUILDING/PATIO AND OFFICE BUILDING.
 - FINAL DETAILS FOR COURT TYPE AND LAYOUT, TOT LOT, PICNIC AND OTHER EQUIPMENT WILL BE PROVIDED FOR CITY APPROVAL ON THE FINAL DEVELOPMENT PLANS.
 - FINAL POOL SIZING AND DESIGN SHALL BE PROVIDED AT THE TIME OF FINAL DEVELOPMENT PLANS.
 - A LETTER FROM THE FL. DEPT. OF HEALTH (OR APPROPRIATE AGENCY) MUST BE SUBMITTED TO COMMUNITY DEVELOPMENT DEPARTMENT AT TIME OF FINAL DEV. PLAN TO AFFIRM THE MINIMUM SIZE OF THE POOL.
 - RECREATIONAL PROGRAM TO INCLUDE THE FOLLOWING: BARK PARK, TOT LOT, PICNIC AND GATHERING AREAS, BBQ LOCATIONS AND OTHER EQUIPMENT. THIS WILL BE PROVIDED WITH FINAL DEVELOPMENT PLAN.
 - ALL RECREATION AMENITIES AND OFFSITE IMPROVEMENTS TO BE COMPLETED AND OPERATIONAL PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATION OF OCCUPANCY

ACCESS & TRAFFIC GENERATION:
ACCESS TO THE PUBLIC ROAD SYSTEM WILL BE VIA MARDEN ROAD. THE MAXIMUM PROJECTED TRAFFIC GENERATION FOR THIS PROJECT IS 287 PM PEAK HOUR TRIPS PER THE SITE TRIP GENERATION MANUAL, 7TH EDITION, FOR LAND USE 220 - APARTMENTS.

PEDESTRIAN ACCESS:
SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED ON PLANS.

SCHOOL CONCURRENCY:
THIS PROPERTY HAS A WAIVER FROM SCHOOL CONCURRENCY, ACTIVE UNTIL 2018.

AMENITIES:
TO ASSURE THAT QUALITY RESIDENTIAL DEVELOPMENT IS CONSTRUCTED, THE FOLLOWING AMENITIES ARE PROPOSED AND WILL BE INCLUDED WITH THE PROJECT:
CLUBHOUSE WILL INCLUDE WIRELESS HIGH SPEED INTERNET, BUSINESS CENTER, FITNESS CENTER, KITCHEN AREA WITH SINGS, REFRIGERATOR AND MICROWAVE AND RESORT-STYLE SWIMMING POOL WITH OUTDOOR FIREPLACE. UNITS WILL INCLUDE ENERGY-EFFICIENT APPLIANCES, FULL SIZE WASHER AND DRYER AVAILABLE IN 2 AND 3 BEDROOM APARTMENTS, FULL OR STACKED WASHER AND DRYER AVAILABLE IN 1 BEDROOM APARTMENTS, WALK-IN CLOSETS, BICYCLE TRAILS, BICYCLE RACKS, BICYCLE AND STORAGE AREAS, GRANITE COUNTER TOPS, 9-FOOT CEILINGS. NO COIN LAUNDRY CENTER ALLOWED.

PARKING AREAS:
IN ACCORDANCE WITH CITY OF APOPKA REGULATIONS, 20% OF PARKING SPACES SHALL HAVE PERVIOUS PARKING SURFACE. SEE PLANS FOR LOCATIONS.

- DEVELOPMENT DESIGN STANDARD:**
- ARCHITECTURAL DESIGN AND COLORWAY OF MULTI-FAMILY BUILDINGS WILL BE COMPATIBLE WITH COMMERCIAL OUT-PARCELS.
 - ALL SERVICE AND STORAGE AREAS MUST BE SCREENED FROM PUBLIC VIEW.
 - ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED (INCLUDING THE BACK OF THE BUILDING).
 - ADDRESS NUMBER BEING PLACED ON BUILDING SHALL BE MINIMUM OF 6" IN HEIGHT

MONUMENT SIGN:
MONUMENT AND SIGN EASEMENT SHALL BE DEDICATED TO THE CITY OF APOPKA. ENTRY FEATURE DETAIL WILL BE PROVIDED WITH THESE PLANS

MULTI-USE TRAIL:
MAINTENANCE AUTHORITY AND OWNERSHIP OF MULTI-USE TRAIL TO BE DETERMINED AT THE FDP.

CROSS-ACCESS EASEMENT:
FUTURE BUYER OF COMMERCIAL TRACT (SOUTH OF PHASE 1B APARTMENTS) AND FUTURE BUYER OF MULTI-FAMILY TRACT (NORTH OF PHASE 1B APARTMENTS) WILL BE REQUIRED TO MAKE NECESSARY CONNECTION POINTS WITHIN ENVELOPE OF CROSS-ACCESS EASEMENT. CROSS-ACCESS EASEMENTS WILL BE RECORDED WITH FINAL PLAT.

PROPOSED UNITS: MULTIFAMILY RESIDENTIAL APARTMENTS						
UNIT MIX PHASE IB	BUILDING NUMBER	BUILDING HEIGHT	3 BED	2 BED	1 BED	TOTAL
TYPE I	1, 5	58'	8 X 2	28 X 2	16 X 2	52 X 2
TYPE II	2, 3, 4	58'	8 X 3	40 X 3	8 X 3	56 X 3
TOTALS:						272

LAND AREA FOR CONSTRUCTION:

6.64 ACRES COMMERCIAL (CLEAR, MASS GRADE, VERTICAL CONSTR. - INCLUDING 0.21 ACRES ROW DEDICATION)

35.53 ACRES OF R-3 (CLEAR, MASS GRADE, CONSTRUCT JOINT USE POND, VERTICAL CONSTR. - INCLUDING 1.04 ACRES FOR ROW DEDICATION)

NOTE THAT EXISTING MARDEN ROAD RIGHT OF WAY IS 60'. FUTURE RIGHT OF WAY DEDICATION IS SHOWN IN THIS SET OF PLANS AND WILL INCLUDE 20' ON EITHER SIDE MAKING THE FUTURE RIGHT OF WAY 100'. THE TRAFFIC STUDY SHOWS A PROPOSED FUTURE ROW DEDICATION OF 25' WHICH IS INCORRECT.

PHASING INTENT OF THE PROJECT:

THE PROJECT WILL BE CONSTRUCTED IN MULTIPLE PHASES, CONSISTING OF PHASE 1A - MASS GRADING PLANS AND PHASE 1B, THE FINAL DEVELOPMENT PLANS HEREIN. ANYTHING BEYOND PHASE 1B SITE DEVELOPMENT WILL BE IDENTIFIED AS FUTURE DEVELOPMENT.

CONSTRUCTION DATES ARE TO BE DETERMINED, DUE TO THE CONSTRUCTION SCHEDULE OF THE SR 414 INTERCHANGE. THE APARTMENTS ARE TO BE COMPLETED WITHIN 90 DAYS OF INTERCHANGE CONSTRUCTION. FUTURE CONSTRUCTION WILL FOLLOW AT A LATER DATE.

SITE DATA		
OVERALL SITE		
PARCEL ID	17-21-28-0000-00-029	
PARCEL AREA	42.17	ACRES
FUTURE COMMERCIAL	6.43	ACRES
EMERSON POINTE APARTMENTS	18.05	ACRES
FUTURE DEVELOPMENT	16.09	ACRES
PROPOSED ROW DEDICATION	1.25	ACRES
STORMWATER FACILITIES	5.80	ACRES
PROPOSED UNITS	272	(3) TYPE IV 56-UNIT; (2) TYPE III 52-UNIT BLDGS.
PROPOSED DENSITY	15.0 DU/AC	MAX 15 DU/AC
OPEN SPACE	APPROX. 12.69 AC. (30.1%)	30% REQUIRED
MAXIMUM MEAN BUILDING HEIGHT:	58' (4 STORY)	
MINIMUM BUILDING SETBACK:	25' FROM BOUNDARY	
FUTURE LAND USE:	MEDIUM DENSITY RESIDENTIAL/GROWTH CENTER	
CURRENT ZONING:	PUD/R3	
COMMERCIAL ZONING	C-1 (NOT PART OF THIS PERMIT. WILL BE DEVELOPED AT A LATER DATE)	
PROJECTED POPULATION		
(2.88 PERSONS/UNIT)(2-1X272)	784	INDIVIDUALS
SCHOOL AGE POPULATION (272X0.235)	64	CHILDREN (SEE NOTES)
BUFFER REQUIRED	10' LANDSCAPE BUFFER FOR PARKING AND ACCESS WAYS ADJACENT TO LOCAL ROAD ROW.	
RECREATION REQUIRED:		
(3.6 ACRES/1,000 PERSONS)	2.82	ACRES
RECREATION PROVIDED:	2.98	ACRES
ACTIVE REC	0.67	ACRES
PASSIVE REC	2.30	ACRES
TYPE OF UNITS	MULTI-FAMILY	
MINIMUM LIVING AREA (UNDER AIR)	750 SQ. FT.	
PARKING PROVIDED		
	REQUIRED	PROVIDED
STANDARD SPACES (9' x 18')	544 SPACES (2 SPACES/UNIT)	526
A.D.A. ACCESSIBLE SPACES (12' x 18')	11 SPACES (2% OF TOTAL)	22
PERVIOUS PARKING (9' x 18')	109 SPACES (20% OF TOTAL)	110
TOTAL PROVIDED UNIT PARKS		548

NO.	DATE	BY	DESCRIPTION
1	6/18/2015		

SCALE: N/A
DATE: 6/01/2015
DRAWN: AP/MJC
CHECKED: NCG
APPROVED: ASC

DESIGN STANDARDS
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

ANTHONY S. CALL, P.E.
No. 67370

gai consultants
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ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03
SHEET
C2.20

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FIBER CEMENT 6" LAP SIDING, PAINTED, TYP.

FIBER CEMENT SHINGLE SIDING, PAINTED, TYP.

FIBER CEMENT 6" LAP SIDING, PAINTED, TYP.

STUCCO, PAINTED, TYP.

STUCCO, PAINTED, TYP.

SHEET NOTES

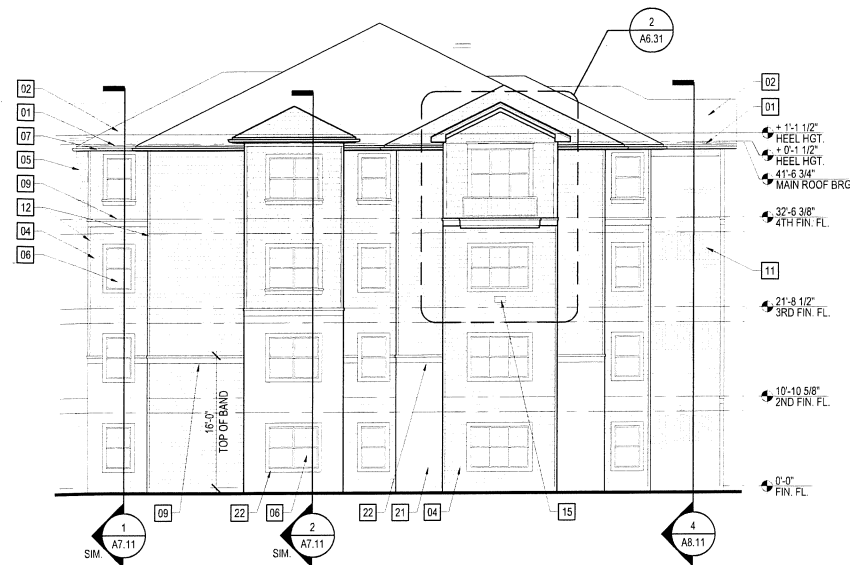
- A REFER TO SHEET A1.03 FOR GENERAL NOTES
- B REFER TO SHEETS A1.04 AND A1.05 FOR CONSTRUCTION ASSEMBLIES
- C REFER TO SHEET A9.11 FOR DOOR SCHEDULE & DETAILS
- D REFER TO SHEET A9.21 FOR WINDOW SCHEDULE & DETAILS
- E ALL BANDS TO RETURN TO INTERIOR CORNERS
- F REFER TO ROOF PLANS ON A5.13 AND A5.24 FOR DOWNSPOUT LOCATIONS. COORDINATE WITH SITE DRAINAGE PLANS

KEY NOTES

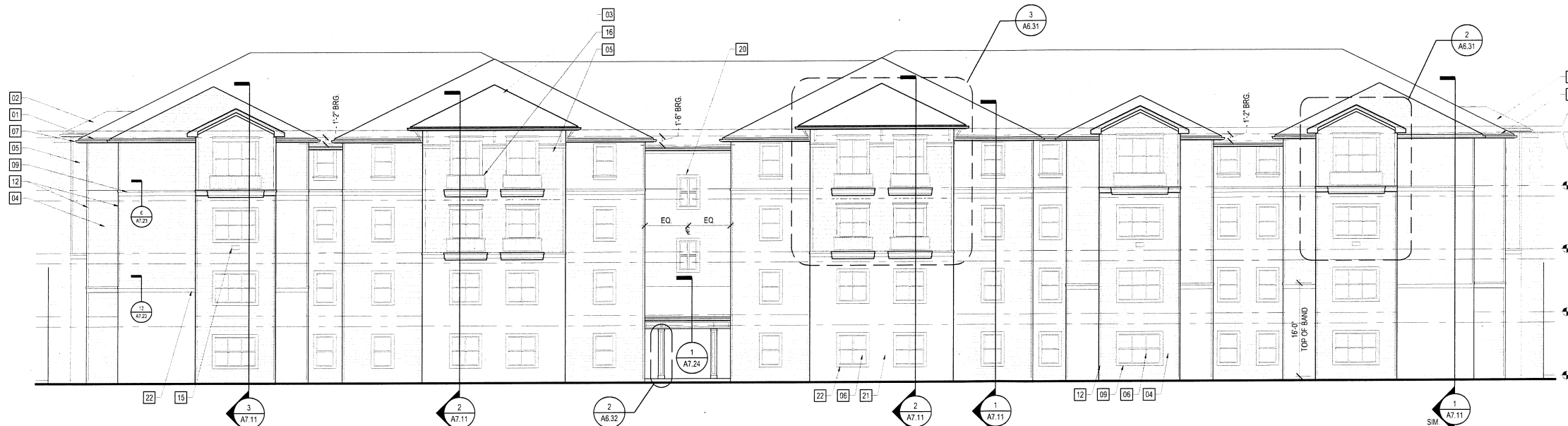
- 01 TYPICAL FASCIA TRIM: ALUM. CLAD P.T. FASCIA PER SECTIONS
- 02 ROOF SHINGLES SYSTEM PER ASSEMBLY
- 03 STANDING SEAM METAL ROOF PANELS
- 04 FIBER CEMENT HORIZONTAL LAP SIDING W/ 6" EXPOSURE
- 05 FIBER CEMENT SHINGLE SIDING
- 06 WINDOWS & DOORS PER SCHEDULES. SEE WINDOW DETAILS
- 07 CONTINUOUS, SEAMLESS ALUM GUTTERS & DOWNSPOUTS: PROVIDE WHERE INDICATED ON ROOF PLANS
- 08 BUILDING SIGN @ FRONT OF BUILDING: CONTRACTOR TO VERIFY SIGNAGE REQUIREMENTS W/ FIRE DEPT. & COORDINATE SIGN LOCATION WITH BLDG LIGHTING.
- 09 TRIM BAND: PROVIDE FIBER CEMENT TRIM BOARD SIZES PER SECTIONS. UNO. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS. REFER TO SECTIONS
- 10 FIBER CEMENT PANEL. JOINTS SHALL OCCUR UNDER TRIM PIECES SHOWN ON ELEVATIONS (BALCONY PANELS WILL NEED TO BE CUT FROM 8' SHEETS. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS EXCEED 8' W/O TRIM PIECES).
- 11 ALUMINUM BALCONY RAILING: 42" HIGH GUARDRAIL WITH VERTICAL PICKETS SPACED SUCH THAT A 4" SPHERE CAN NOT PASS THROUGH THE GAPS. ALL ENDS ATTACHED TO WALL.
- 12 ONE-PIECE CORNER TRIM: 5/4 X 4 X 4 AZEK OR EQUIV.
- 13 DECORATIVE FAUX-LOUVER PER DETAIL 6/A6.32
- 14 BRACKET PER DETAIL
- 15 WALL-MOUNTED SITE LIGHTING FIXTURE LOCATION. REFER TO ELECTRICAL SITE PLAN. COORDINATE WITH BLDG. SIGNAGE LOCATION.
- 16 DECORATIVE ALUMINUM RAILING W/ 6" PICKET SPACING AT FAUX-BALCONY. REFER TO SECTIONS FOR DETAILS
- 17 ALIGN PANEL JOINTS W/ CENTERLINE OF COL. & COVER W/ 1X4 FIBER CEMENT TRIM VERTICALLY
- 18 DECORATIVE 1 1/2" SQ. ALUMINUM FRAME SIZED AS SHOWN. BLACK FINISH.
- 19 DROPPED BULKHEAD (MAX. 6"). REFER TO BUILDING PLANS FOR LOCATIONS.
- 20 DECORATIVE FAUX SHUTTERS PER DETAIL 7/A6.32
- 21 STUCCO PER ASSEMBLY
- 22 TRIM BAND: PROVIDE RAISED STUCCO TRIM BAND AS INDICATED ON ELEVATIONS. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS

STUCCO THICKNESS LEGEND

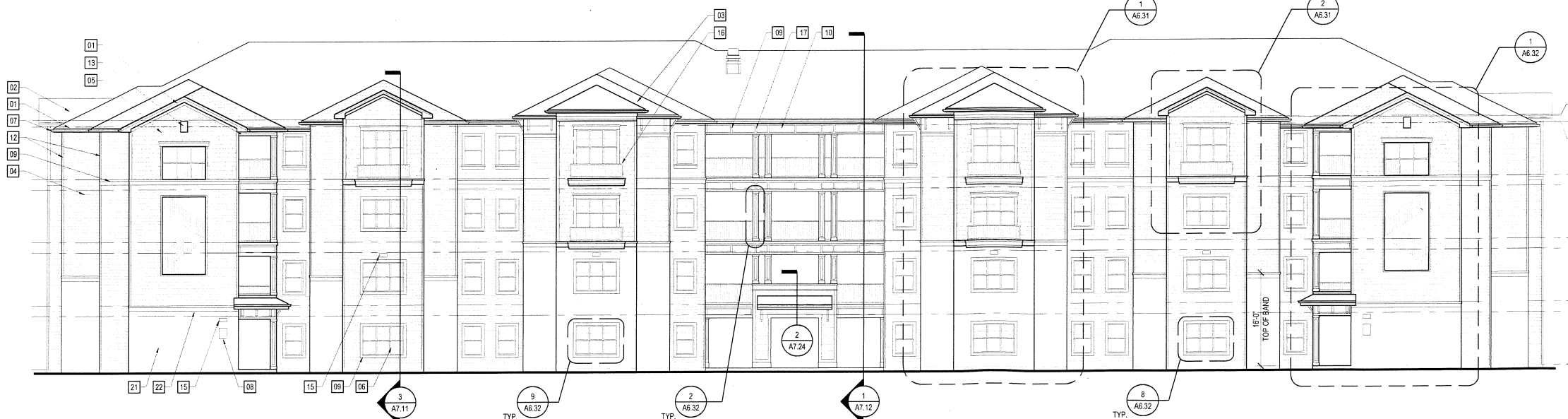
0	7/8"	STUCCO
1	1 1/2"	STUCCO TRIM
2	2"	STUCCO TRIM



3 Right Side Elevation
 Left Side Similar
 3/32" = 1'-0"



2 Rear Elevation
 3/32" = 1'-0"



1 Front Elevation
 3/32" = 1'-0"

Marden Ridge Apartments

City of Apopka, FL
 03/27/2015

SET DISTRIBUTIONS:
 3/27/2015 Permit Set

△ SHEET REVISIONS:

EDITED BY: LB
 PROJECT NO. 14-3051

Elevations

Building Type I

A6.11

**Marden Ridge
Apartments**

City of Apopka, FL

03/27/2015

SET DISTRIBUTIONS:

3/27/2015 Permit Set

△ SHEET REVISIONS:

SHEET NOTES

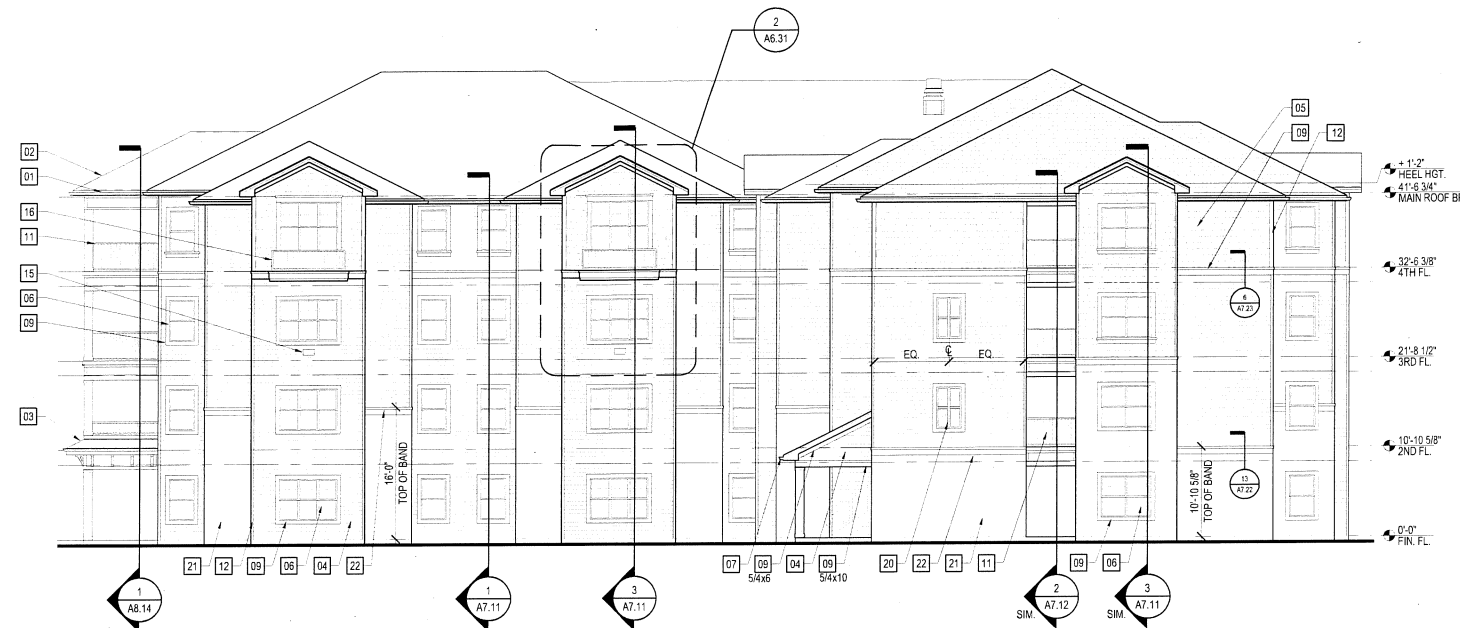
- A REFER TO SHEET A1.03 FOR GENERAL NOTES
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KEY NOTES

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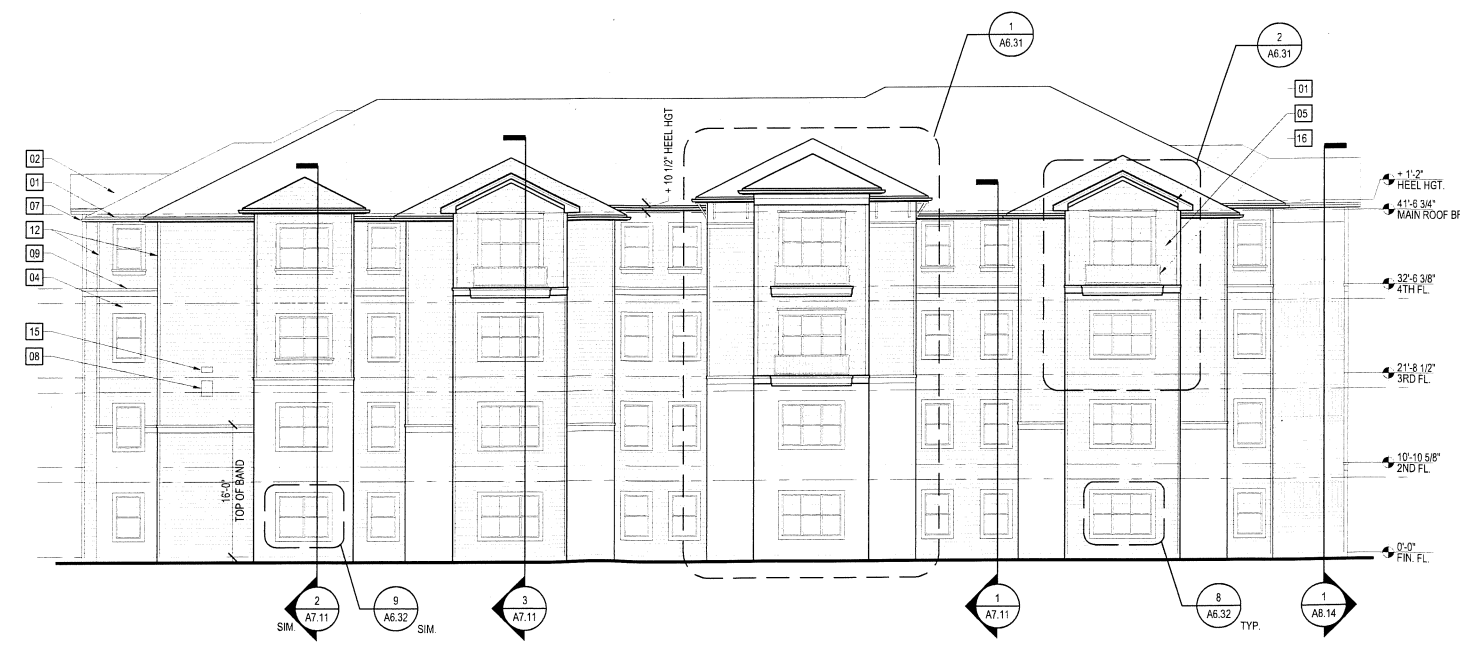
STUCCO THICKNESS LEGEND

0	7/8"	STUCCO
1	1 1/2"	STUCCO TRIM
2	2"	STUCCO TRIM



2 Right Exterior Elevation

3/32" = 1'-0"



1 Left Exterior Elevation

3/32" = 1'-0"

EDITED BY: LB

PROJECT NO. 14-3051

Building Type II

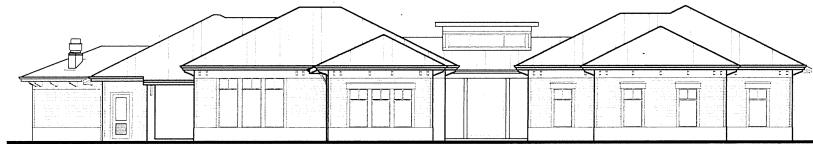
Elevations

A6.22

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Marden Ridge Clubhouse

City of Apopka, FL



Owner . MMI DEVELOPMENT

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935 Lake Baldwin Lane | Orlando . Florida . 32814
P: 407.767.5188 | F: 407.767.5772 | E: victor@sgmengineering.com

PROJECT INFORMATION

PROJECT SCOPE

1-STORY WOOD FRAME BUILDING W/ LOAD BEARING EXTERIOR WALLS

GOVERNING BODIES

CITY OF APOPKA, FL - BUILDING DIVISION - PHONE (407) 703-1713

BUILDING CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA ACCESSIBILITY CODE (FAC-BC)	2012 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, ENERGY CONSERVATION (FBC-EC)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5th EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

CLUBHOUSE CODE COMPLIANCE

OCCUPANCY TYPE	A3 - ASSEMBLY (NO STAGE)
CONSTRUCTION TYPE	TYPE V-B, UNSPRINKLERED
AREA & HEIGHT LIMITATION (FBC-B TABLE 503)	REQUIRED/ALLOWED
MAX HEIGHT	40' / 25'-0"
MAX NUMBER OF STORIES	1 STORIES / 1 STORIES
MAXIMUM AREA PER FLOOR	PER AREA MODIFICATION SHOWN BELOW

FIRE PROTECTION (IBC TABLE 601 & 602):

STRUCTURAL FRAME	0 HR	0 HR
EXTERIOR BEARING WALLS	0 HR	0 HR
INTERIOR BEARING WALLS	0 HR	0 HR
INTERIOR NON-BEARING WALLS	0 HR	0 HR
EXTERIOR NON-BEARING WALLS	0 HR	0 HR
FLOOR CONSTRUCTION	0 HR	0 HR
ROOF CONSTRUCTION	0 HR	0 HR

FIRE RESISTANCE RATING

BASED ON SEPARATION DISTANCE \geq 10'-0"	0 HR	0 HR
--	------	------

AREA OF MODIFICATION CALCULATIONS

DUE TO FRONTAGE INCREASE, PER FBC-B 506-2.			
CLUBHOUSE	FRONTAGE INCREASE	ALLOWABLE AREA	PROVIDED
W = 30	$I_f = [441'-3" / 441'-3" - 0.25] 30 / 30$	6,000 SF (TABLE 503)	
F = 441'-3"	$I_f = [1 - 0.25] 30 / 30$	+ [6,000 X 0.75]	
P = 441'-3"	$I_f = .75$	10,500 SF	6,415 SF

INTERIOR FINISHES

EXIT ENCLOSURE & PASSAGEWAYS	= B
CORRIDORS	= B
ROOM & ENCLOSED SPACES	= C

PLUMBING FIXTURE & CALCULATIONS

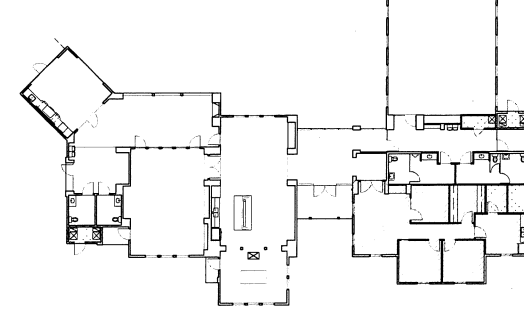
TOTAL OCCUPANTS	175 OCCUPANTS		
ASSUMED 50% MEN	88 OCCUPANTS		
ASSUMED 50% WOMEN	88 OCCUPANTS		
		REQUIRED	PROVIDED
MEN'S ROOM FIXTURES			
WATER CLOSETS (1 PER 125)		1	1
LAVATORIES (1 PER 200)		1	2
URINALS		0	1
WOMEN'S ROOM FIXTURES			
WATER CLOSETS (1 PER 65)		2	2
LAVATORIES (1 PER 200)		1	2
OTHER FIXTURES			
SERVICE SINK		1	1
ELECTRIC WATER COOLER (1 PER 500)		1	1 HI-LO

BUILDING AREA TABLE

BLDG. TYPE	A/C AREA	N-A/C AREA	TOTAL AREA
CLUBHOUSE	4,976 SF	1,439 SF	6,415 SF

CLUBHOUSE OCCUPANCY DIAGRAM

PER LEGEND IN OCCUPANCY TABLE, REFER TO A17.11 FOR LIFE SAFETY PLAN



CLUBHOUSE OCCUPANCY & MEANS OF EGRESS

OCCUPANCY LOAD (PER FBC 1004.1) GROUP: A3		
ASSEMBLY	AREA / FLOOR AREA PER OCC.	OCCUPANTS
CLUBROOM	589 SQ.FT. / 15 SQ.FT.	39.3
CYBER CAFE	867 SQ.FT. / 15 SQ.FT.	57.8
FITNESS (W/ EQUIP.)	917 SQ.FT. / 50 SQ.FT.	18.3
PATIO	474 SQ.FT. / 15 SQ.FT.	31.6
SUMMER KITCHEN	252 SQ.FT. / 15 SQ.FT.	16.8
TOTAL 175 PERSONS		
TRAVEL DISTANCE (FBC-B TABLE 1016.1)		
	REQUIRED	PROVIDED
	200'	63'-5"
EXITING REQUIREMENTS (FBC-B TABLE 1019.1)		
	2 EXITS	2+ EXITS

DRAWING INDEX

ARCHITECTURAL DRAWINGS

- A17.01 Title Sheet, Drawing Index, Code Compliance & Issue History
- A17.02 General Notes & Construction Assemblies
- A17.11 Life Safety Plan
- A2.01 Architectural Site Plan
- A17.21 Architectural Slab Plan

STRUCTURAL DRAWINGS

- S17.31 General Structural Notes
- S17.32 Structural Sections & Details
- S17.33 Structural Sections & Details
- S17.34 Structural Sections & Details
- S17.35 Structural Sections & Details
- S17.36 Structural Sections & Details
- S17.37 Structural Sections & Details
- S17.38 Structural Sections & Details
- S17.39 Structural Sections & Details
- S17.41 Foundation Plan
- S17.42 Roof Framing Plan

ARCHITECTURAL DRAWINGS

- A17.51 Dimension Floor Plan
- A17.52 Note & Reflected Ceiling Plan
- A17.53 Roof Plan
- A17.54 Enlarged Plans, Interior Elevations & Accessibility Details
- A17.55 Enlarged Plans, Interior Elevations & Accessibility Details
- A17.61 Exterior Elevations
- A17.71 Building Sections
- A17.72 Wall Sections & Details
- A17.73 Wall Sections & Details
- A17.74 Section Details
- A17.75 Section Details
- A17.76 Finish Plan Details
- A17.77 Penetration & Window Installation Details
- A17.91 Door Schedule & Details
- A17.92 Window Schedule & Details
- A17.93 Storefront Schedule & Details

PLUMBING DRAWINGS

- P18.21 Plumbing Floor Plan
- P18.22 Plumbing Riser Diagrams
- P18.23 Plumbing Schedules & Details

MECHANICAL DRAWINGS

- M18.31 Mechanical Floor Plan
- M18.32 Mechanical Roof Plan
- M18.33 Mechanical Schedules
- M18.34 Mechanical Details
- M18.35 Vent Hood Details and Information

ELECTRICAL DRAWINGS

- E16.00 Electrical Symbols, Legend & General Notes
- E16.01L Electrical Site Plan - LED
- E16.02L Photometric Site Plan - LED
- E16.03 Site Lighting Spec Sheets - LED
- E18.41 Lighting Floor Plan
- E18.42 Power Floor Plan
- E18.43 Electrical Schedules & Details

FORUM

ARCHITECTURE & INTERIOR DESIGN, INC.

PLANNING | ARCHITECTURE | INTERIOR DESIGN

745 orienta avenue, suite 1121
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AA0002731
www.forumarchitecture.com

Marden Ridge Apartments

City of Apopka, FL

03/27/2015

SET DISTRIBUTIONS:

3/27/2015 Permit Set

SHEET REVISIONS:

EDITED BY: KM RL

PROJECT NO. 14-3051

Clubhouse

Title Sheet, Drawing Index, Code Compliance & Issue History

A17.01

ISSUE HISTORY

3/27/2015 Permit Set

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SHEET NOTES

- A REFER TO SHEET A17.02 FOR GENERAL NOTES
- B REFER TO SHEETS A17.03 FOR CONSTRUCTION ASSEMBLIES
- C REFER TO SHEET A17.91 THROUGH A17.93 FOR DOOR, WINDOW & STOREFRONT SCHEDULES & DETAILS
- D REFER TO, AND COORDINATE WITH, INTERIOR FINISH SCHEDULE AND SEPARATE DOCUMENTS PREPARED BY INTERIOR DESIGNER AND/OR OWNER, WHEN APPLICABLE, FOR SPECIFIC PAINT SELECTIONS, COLORS, FINISH TEXTURES, AND OTHER REQUIREMENTS.
- E ALL EXTERIOR VENTS AND EQUIPMENT THAT ARE VISIBLE ON EXTERIOR OF BUILDING SHALL BE PAINTED A COLOR TO MATCH THE ADJACENT SURFACE, UNO.
- F ALL COLOR TRANSITIONS SHALL BE ON THE INSIDE CORNERS, UNLESS OTHERWISE SPECIFIED IN COLOR STUDY ELEVATIONS.
- G CONTACT THE OWNER OR ARCHITECT IF THERE ARE ANY QUESTIONS PRIOR TO PAINTING.
- H PREPARATION AND APPLICATION OF PRIMER AND FINISH PAINT PRODUCTS SHALL BE DONE PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

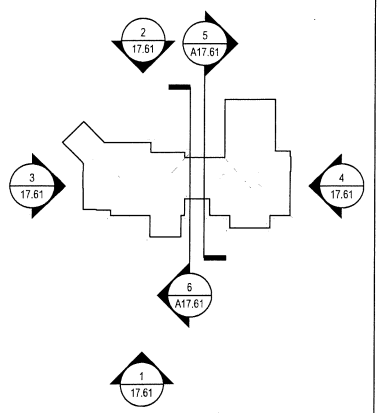
KEY NOTES

- 01 TYPICAL FASCIA TRIM AT PITCHED EAVES: ALUM. CLAD P.T. FASCIA PER SECTIONS
- 02 STANDING SEAM METAL ROOF SYSTEM PER ASSEMBLY
- 03 CEMENT PLASTER - REFER TO LEGEND BELOW FOR THICKNESS
- 04 FIBER CEMENT HORIZONTAL LAP SIDING W/ 6" EXPOSURE
- 05 WINDOWS & DOORS PER SCHEDULES. SEE DETAILS
- 06 CONTINUOUS, SEAMLESS ALUM GUTTERS & DOWNSPOUT; PROVIDE WHERE INDICATED AND COORDINATE FOR SITE DRAINAGE AS NECESSARY. REFER TO ROOF PLAN.
- 07 FIBER CEMENT PANEL. SIZE PER SECTION DETAILS
- 08 FIBER CEMENT TRIM BOARD SIZES PER SECTIONS, UNO. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS. REFER TO SECTIONS
- 09 ONE-PIECE CORNER TRIM: 5/4 X 4 X 4 AZEK OR EQUIV.
- 10 DECORATIVE PRE-FINISHED BRACKET PER DETAIL 7/A17.61
- 11 ANODIZED ALUMINUM SCREEN ENCLOSURE W/ DOORS AS SHOWN ON FLOOR PLANS
- 12 CEMENT PLASTER CONTROL JOINT
- 13 EXHAUST FAN PER MECHANICAL

CEMENT PLASTER LEGEND

- 0 7/8" REINFORCED CEMENT PLASTER
- 1 1 1/4" REINFORCED CEMENT PLASTER
- 2 2" REINFORCED CEMENT PLASTER

KEY PLAN



Marden Ridge Apartments

City of Apopka, FL
03/27/2015

SET DISTRIBUTIONS:
3/27/2015 Permt Set

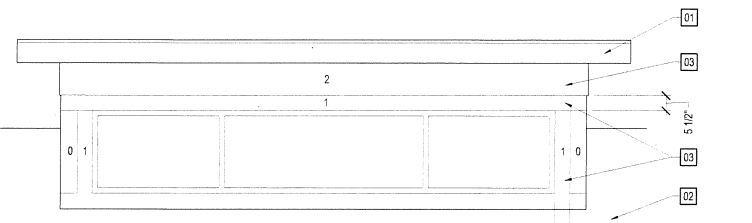
SHEET REVISIONS:

EDITED BY: CJD
PROJECT NO. 14-3051

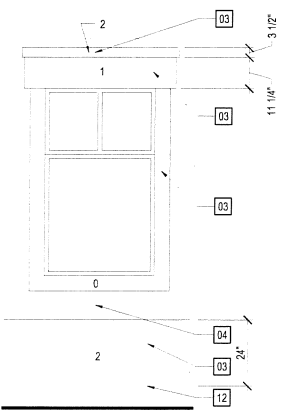
Clubhouse

Exterior Elevations

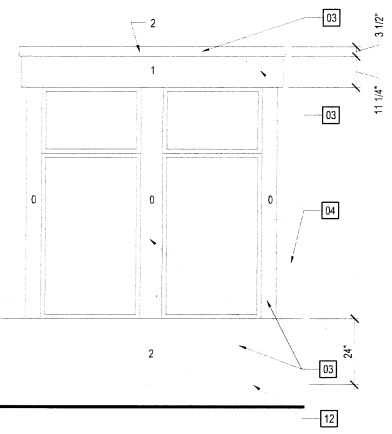
A17.61



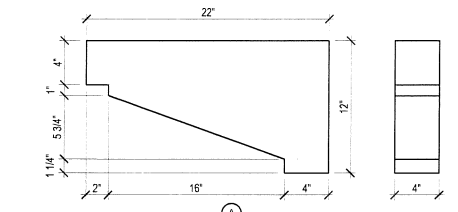
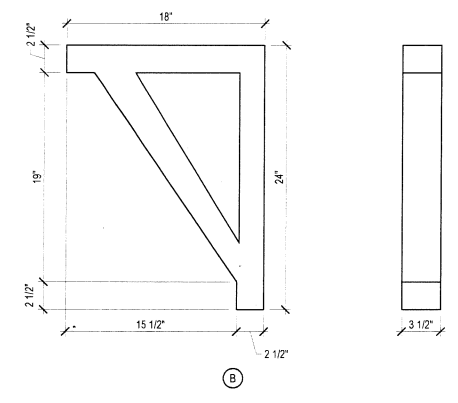
10 Clerestory Window Detail
3/8" = 1'-0"



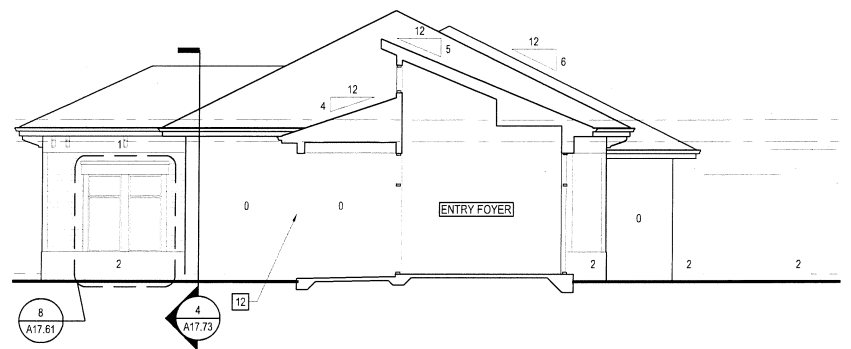
9 Window Trim Detail
3/8" = 1'-0"



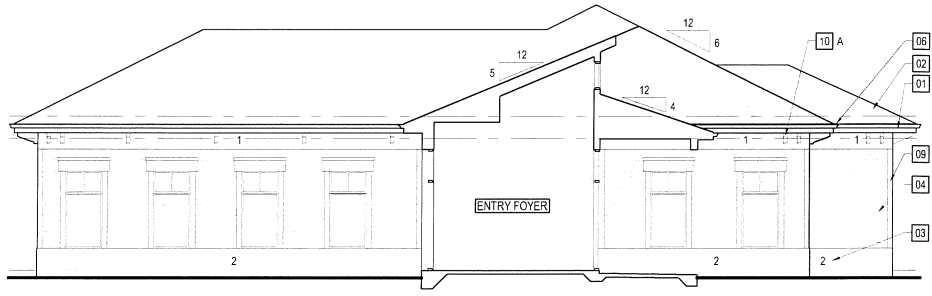
8 Window Trim Detail
Triple Window Similar
3/8" = 1'-0"



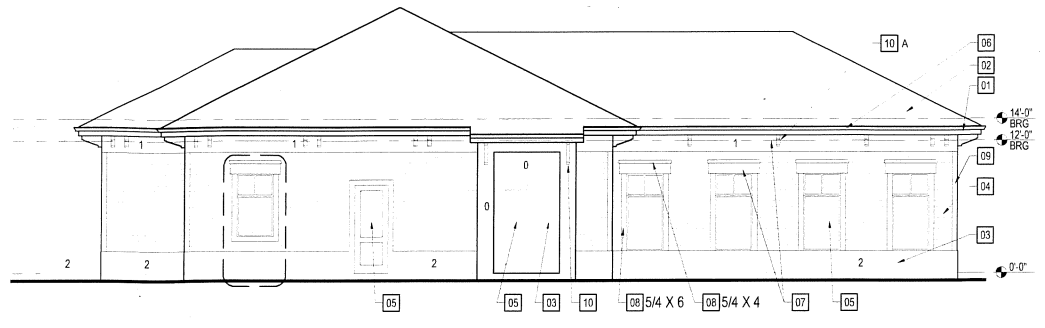
7 Bracket Details
1-1/2" = 1'-0"



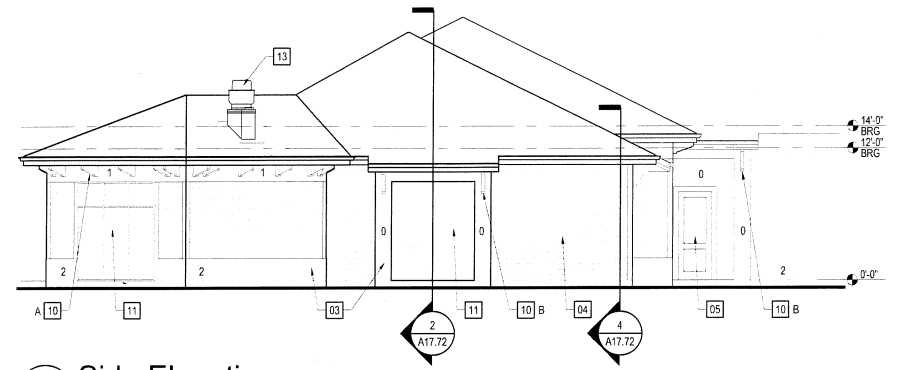
6 Inside Elevation
1/8" = 1'-0"



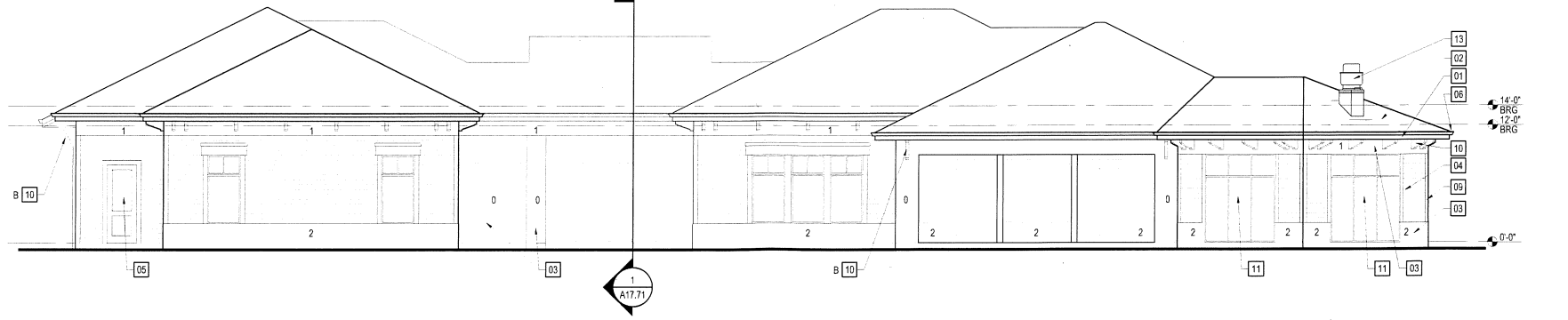
5 Inside Elevation
1/8" = 1'-0"



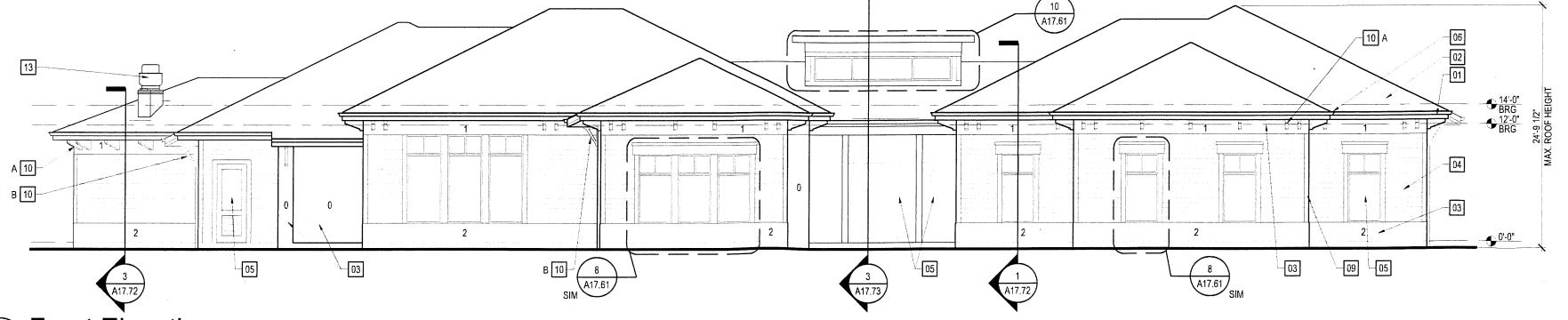
4 Side Elevation
1/8" = 1'-0"



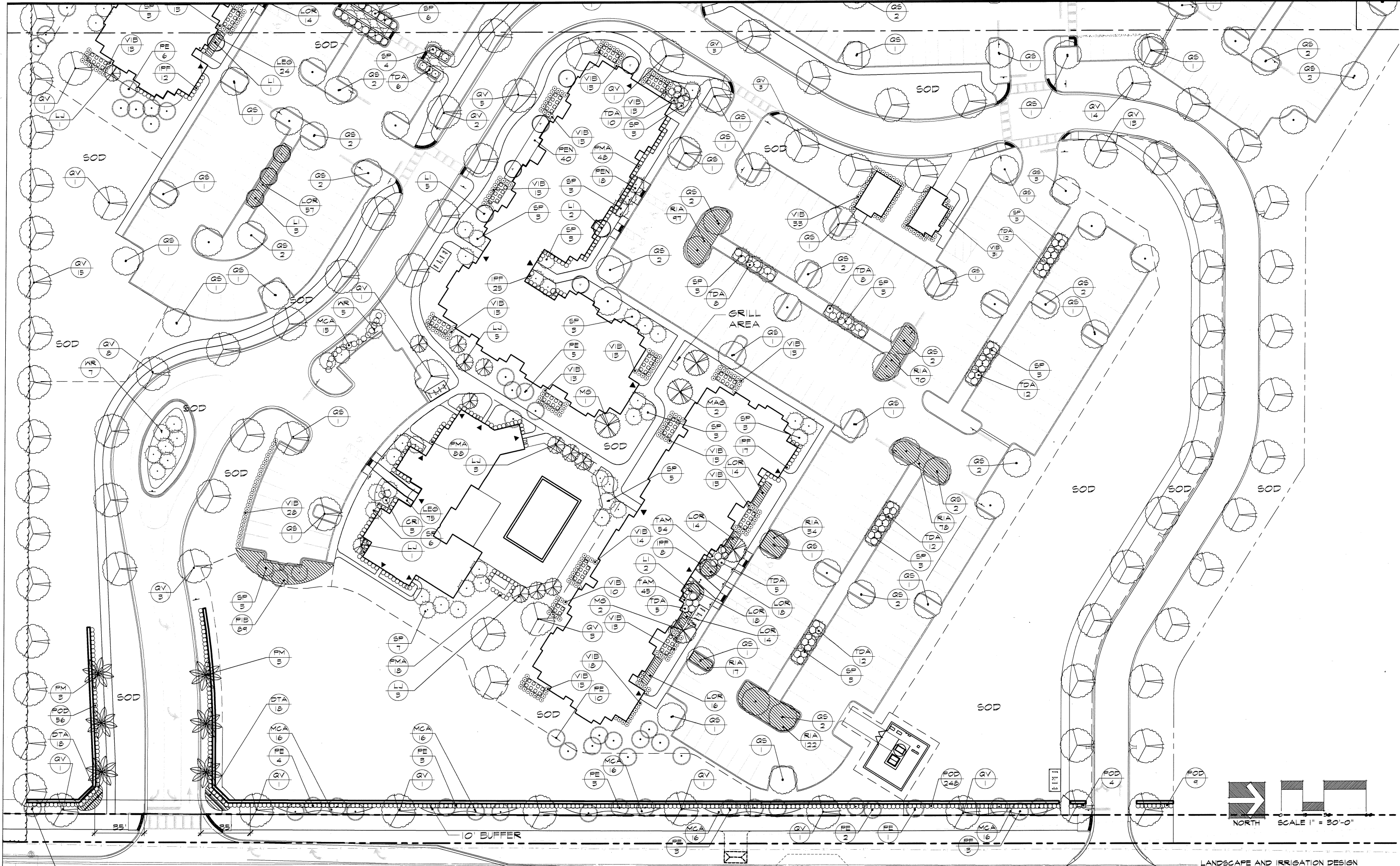
3 Side Elevation
1/8" = 1'-0"



2 Rear Elevation
1/8" = 1'-0"



1 Front Elevation
1/8" = 1'-0"



REVISED PER CITY COMMENT		DESCRIPTION	
NO.	DATE	BY	APP'D
1	6/10/2015		

SCALE: 1"=50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

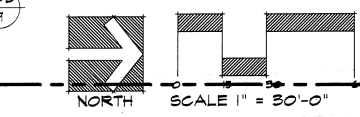
SEAL

RUTH PERRY, RLA
 No. LA0001530

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 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

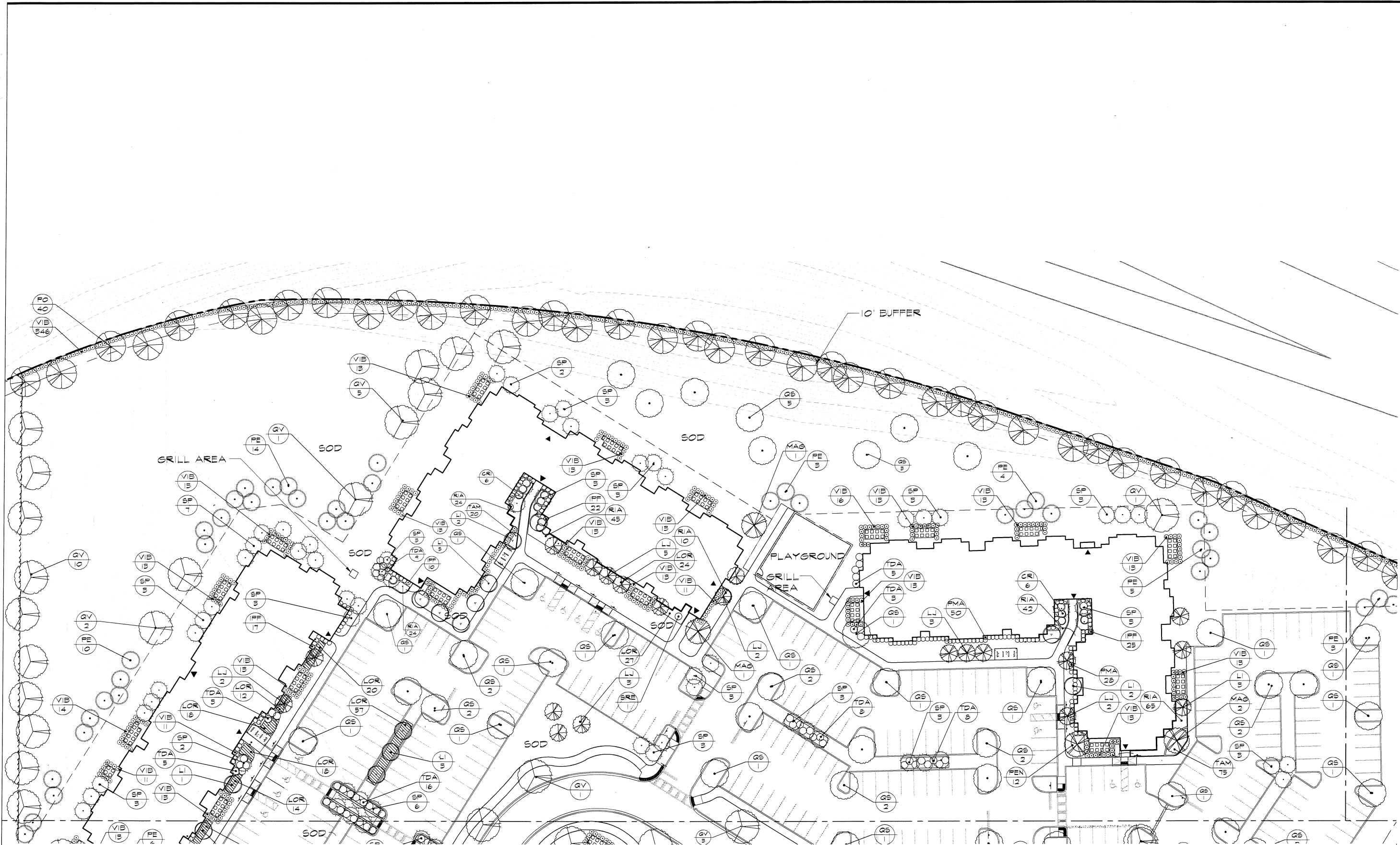
PROJECT NO./DASH NO.
 A120273.03

SHEET
LA.01



LANDSCAPE AND IRRIGATION DESIGN
 I VERIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008, WHICH ESTABLISHES WATER-WISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE REG. NO. DATE



NO.	DATE	BY	CHKD	APPD	DESCRIPTION
1	6/18/2015				REVISED PER CITY COMMENT

SCALE: 1"=50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

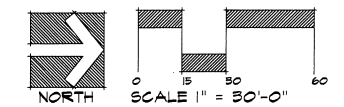
RUTH PERRY, RLA
 No. LA0001530

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 618 SOUTH ST. SUITE 700
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 PHONE: (407) 423-8398

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TREES & PALMS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	REMARKS
LI	29	Lagerstromia indica	Crape Myrtle	10'-12' Ht x 5' Sprd	A.S.	25 Gal, Full Canopy, Multi-Stem
LJ	30	Ligustrum japonicum	Tree Ligustrum	10' x 10'	A.S.	Specimen, Full and Even Canopy, Multi-trunk
MS	9	Magnolia 'Little Gem'	Magnolia	10' Ht x 5' Sprd	A.S.	Full to Base, Matched
PE	80	Pinus elliotii	Slash Pine	8'-10' Ht x 3.5'-4' Sprd	A.S.	30 Gal, 2-3" Cal
PM	6	Phoenix 'Medjool'	Medjool Date Palm	12' C.T.	A.S.	Specimen, Matched Heights
PO	40	Platanus occidentalis	Sycamore	9'-10' Ht	A.S.	15 Gal., 1.75" Cal.
QV	99	Quercus virginiana	Live Oak	14' Ht. x 8' Sprd.	A.S.	3 1/2" Cal., 65 Gal., Full Canopy
QS	94	Quercus shumardii	Shumard Red Oak	10'-11' Ht x 3'-4' Sprd	A.S.	30 Gal., 2" Cal.
SP	126	Sabal palmetto	Sabal Palm	12' - 18' C.T.	A.S.	Sizes on Plan
WR	12	Washingtonia robusta	Washington Palm		A.S.	Sizes on Plan

SHRUBS & GROUND COVERS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CR1	15	Crinum spp.	Crinum Lily	3'-4' O.A.	A.S.	Heavy trunks, 7 perfect leaves
DTA	36	Dianella 'Variegata'	Blueberry Flax Lilly	15"-18" O.A.	30" O.C.	1 Gal, Full, install in monument planter
IPF	136	Illicium parviflorum	Yellow Anise	16"-24" Ht	30" O.C.	3 Gallon, Full
LES	99	Liriope 'Emerald Goddess'	Liriope	6 PFP	24" O.C.	1 Gallon, Full
LOR	341	Loropetalum 'Flum Delight'	Dwf Loropetalum	15"-18" x 15"-18"	30" O.C.	3 Gallon, Full
MCA	95	Muhlenbergia capillaris	Muhly Grass	15"-18" Height	4" O.C.	3 Gallon, Full
PEN	70	Pennisetum setaceum	White Fountain Grass	15"-18" O.A.	36" O.C.	3 Gallon, Full
PIB	89	Plumbago 'Imperial Blue'	Plumbago	18" x 24" x 18"-24"	36" O.C.	3 Gallon, Full
PMA	232	Podocarpus spp.	Podocarpus	18"-24" x 12"-15"	36" O.C.	3 Gallon, Full
POD	317	Podocarpus spp.	Podocarpus	36"-40" x 15"-18"	36" O.C.	7 Gallon, Full
RIA	628	Rhaphiolepis indica	Indian Hawthorn	15"-18" x 15"-18"	30" O.C.	3 Gallon, Full
SRE	1	Strelitzia reginae	Bird of Paradise	36" O.A.	A.S.	7 Gallon, Full
TAM	194	Trachelospermum asiaticum 'Minima'	Dwf Conf. Jasmine	10"-12" Sprd.	18" O.C.	1 Gallon, Full
TDA	147	Tripsacum dactyloides	Fakahatchee Grass	18"-24" Height	5" O.C.	3 Gallon, Full
VIB	920	Viburnum suspensum	Viburnum	18"-24" x 15"-18"	36" O.C.	3 Gallon, Full

SOD AND MULCH			
SOD	Argentine Bahia		Contractor to verify amount.
MULCH	Mini Fine Bark Nuggets	3" Min. Deep	

NOTE:
 LANDSCAPING AND IRRIGATION PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.
 IRRIGATION PLANS WILL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLAN, THE IRRIGATION SYSTEMS WILL BE DESIGNED WITH POP-UP TYPE DEVICES ONLY; RISES ARE NOT ALLOWED. A NOTE IN LARGE FONT: "IRRIGATION RISERS ARE NOT ALLOWED." WILL BE ADDED TO THE IRRIGATION PLAN.
 REPLACEMENT TREES SHALL BE A MINIMUM OF 2.5 INCH DBH.

- LANDSCAPE NOTES**
- In the event of variation between the quantities shown on the plant list and the plans, the plans shall control. Verifying sod quantity take-offs are the responsibility of the landscape contractor.
 - No plant material substitutions shall be permitted or will be accepted without the written consent of the Landscape Architect.
 - All plantings shall be backfilled with the best of the on-site soil.
 - The landscape contractor is responsible for the immediate repair, at his/her own expense, to any on-site utilities damaged by these landscape construction operations.
 - It is the responsibility of the landscape contractor to prevent plants from falling or being blown over. The landscape contractor shall straighten, repair, and/or replace any plants damaged by a failure to properly stake or guy any trees on-site, at his/her own expense. The landscape contractor shall not be responsible for any trees blown over or damaged by winds in excess of 50 miles per hour.
 - Unless otherwise stated on these plans, the landscape contractor shall only be responsible for fine grading of the planting and sodding areas. Fine grading is described as the final .10 of grade to be achieved.
 - The landscape contractor shall assure that this work does not interrupt existing or projected drainage patterns.
 - All sod must be placed with staggered joints, tightly butted, with no gaps or overlapping pieces. All sod shall be rolled.
 - All planting beds shall be top dressed with 3" of mulch, see plant list for type.
 - The landscape contractor shall remove excess waste material from the project site on a daily basis.
 - Maintenance shall be the responsibility of the landscape contractor until such time as final acceptance of the project has been granted by the Landscape Architect. Maintenance shall include watering, mulching, weeding, pruning, replacement of dead and dying plants, cutting sod and any other operation necessary for the proper care of these plants.
 - The landscape contractor shall not be responsible to honor any warranty for the loss of any trees, shrubs, ground covers, or sod caused by flooding, fire, freezing temperatures, winds over 50 miles per hour, lightning or any other natural disaster. The landscape contractor is also not responsible for any damage caused by vandalism or negligence on the part of the owner.
 - All plant material shall be Florida Number 1 or better in quality as described in Florida Grades and Standards for Nursery Plants, Florida Department of Agriculture.

LANDSCAPE REQUIREMENTS

SITE AREA
 791,964 S.F. 1 TREE/8,000 S.F.

REQUIRED = 99 TREES
 PROVIDED = 99 TREES

272 UNITS 1 TREE/UNIT

REQUIRED = 272 TREES
 PROVIDED = 272 TREES

NORTH BUFFER- PHASE II
 NO BUFFER REQUIRED

EAST BUFFER-10' BUFFER
 754 L.F. 7540 S.F.

50 L.F. LESS ACCESS DRIVE
 REQUIRED- 28- CANOPY TREES
 CONTINUOUS HEDGE

PROVIDED- 28- CANOPY TREES
 CONTINUOUS HEDGE

WEST BUFFER-10' BUFFER
 1,020 L.F. 10,200 S.F.

REQUIRED- 40 CANOPY TREES
 CONTINUOUS HEDGE

PROVIDED- 40 CANOPY TREES
 CONTINUOUS HEDGE

SOUTH BUFFER
 892 L.F.

REQUIRED- 25 CANOPY TREES

PROVIDED- 25 CANOPY TREES

INTERIOR LANDSCAPE REQUIREMENT

VUA = 28,752 S.F. (10% OF VUA REQUIRED)

REQUIRED - 2375 S.F.
 PROVIDED - 19,830 S.F.

PARKING SPACES = 531 1/TREE/20 SPACES

REQUIRED - 27 TREES
 PROVIDED - 110 TREES

BUILDING LANDSCAPE REQUIREMENT

BUILDING LENGTH 256 L.F.

LANDSCAPE AREA (50% OF BLDG L.F. X 4')

REQUIRED - 512 S.F.
 PROVIDED - 1000 S.F.

TREES (1 TREE/200 S.F.)

REQUIRED - 2 TREES
 PROVIDED - 2 TREES

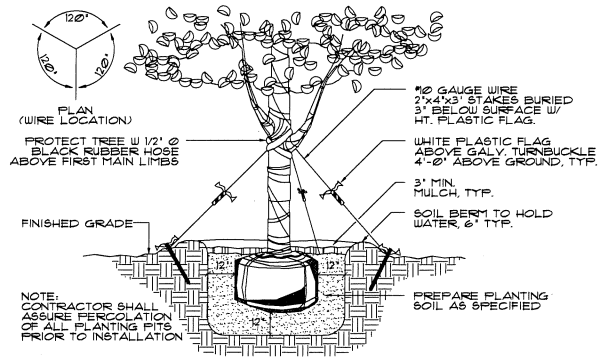
TREE REPLACEMENT

TOTAL INCHES ON-SITE	NONE
TOTAL # OF SPECIMEN TREES	NONE
TOTAL INCHES REMOVED	NONE
TOTAL INCHES RETAINED	NONE
TOTAL SPECIMEN INCHES RETAINED	NONE
TOTAL INCHES REQUIRED	NONE
TOTAL INCHES REPLACED	NONE
TOTAL INCHES POST DEV.	NONE
MAX TREE STOCK FORMULA & CALC	NONE
SITE CLEARING AREA IN SF AND AC	NONE

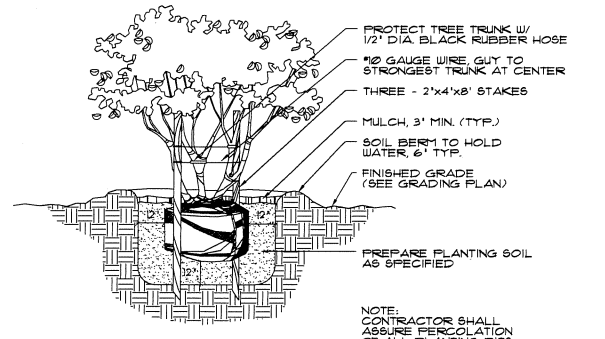
LANDSCAPE AND IRRIGATION DESIGN

I VERIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008, WHICH ESTABLISHES WATER-WISE LANDSCAPE AND IRRIGATION STANDARDS.

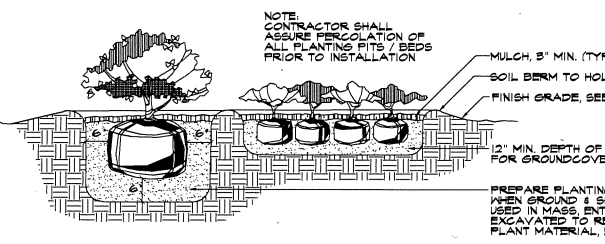
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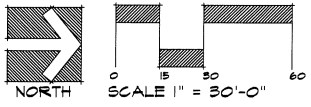
1 LARGE TREE DETAIL
 LA.02 N.T.S.



2 MULTI TRUNK TREE DETAIL
 LA.02 N.T.S.



3 SHRUB AND GROUND COVER DETAIL
 LA.02 N.T.S.



NO.	DATE	BY	APP'D	DESCRIPTION
1	6/18/2015			REVISED PER CITY COMMENT

REVISIONS

LANDSCAPE PLAN (SOUTH)

MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

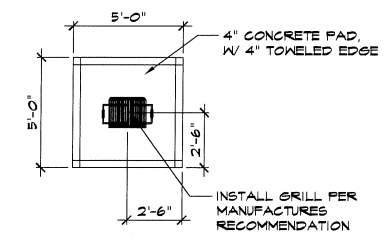
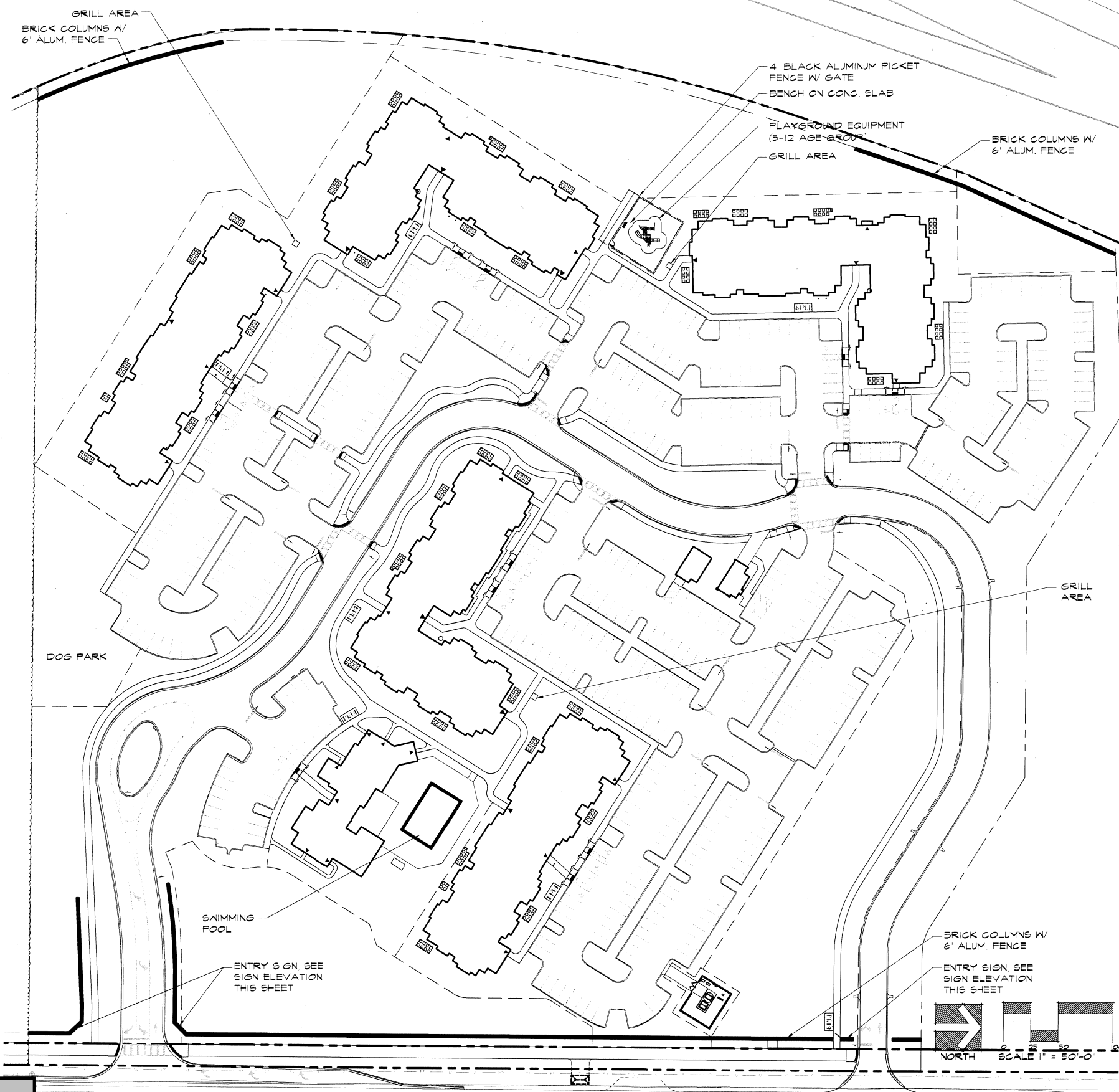
SCALE: 1"=50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

RUTH PERRY, RLA
 No. LA0001530

gai consultants
 EB 9951
 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A120273.03

SHEET
LA.02

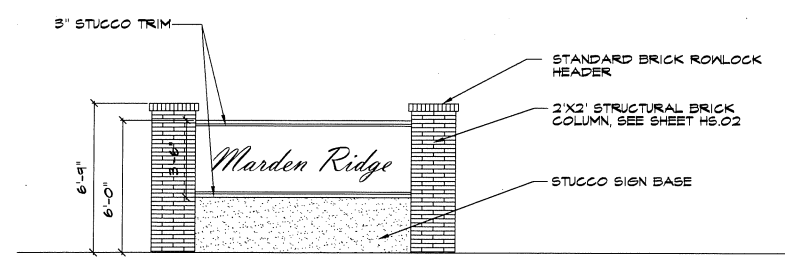


SINGLE GRILL - PLAN
 1/4" = 1'-0" FILE NAME: grill plan view

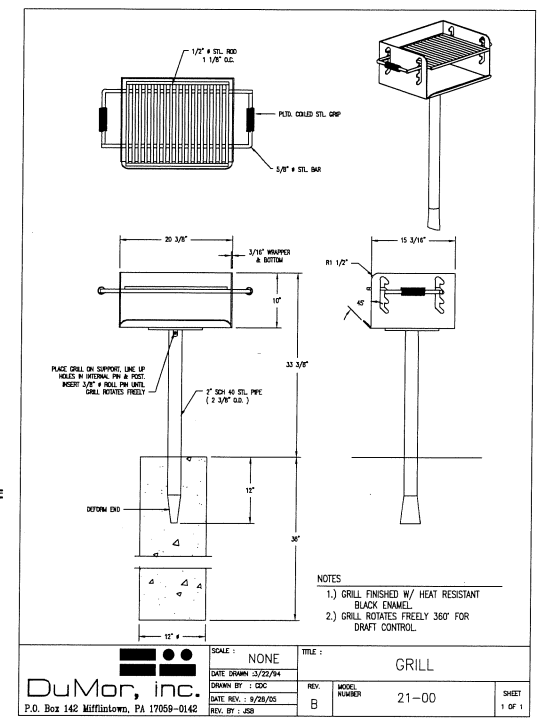
SITE FURNISHING LIST	QTY
PLAYGROUND - BY PLAYSENSE MODEL# 1005 WITH PLAYGROUND MULCH - BY LANDSCAPE STRUCTURES	1
6' BENCH - BY DU MOR, MODEL #58-60	1
OUTDOOR GRILL - BY DU MOR, MODEL #21-00	3

SWIMMING POOL NOTES:
 POOL DIMENSIONS - 30' X 48.5'
 TOTAL GALLONS - 38,070
 AVERAGE DEPTH - 3.5'

- NOTES:**
- INSTALL BENCHES PER MANUFACTURE RECOMMENDATION. CONTRACTOR TO PROVIDE 4" X 8" X 4" THICK CONCRETE UNDER BENCHES.
 - INSTALL PLAYGROUND EQUIPMENT AND PLAYGROUND SURFACING PER MANUFACTURES RECOMMENDATION.



SIGN ELEVATION
 1/4" = 1'-0"



DuMor, inc.
 P.O. Box 142 Millville, PA 17059-0142

SCALE: NONE	TITLE: GRILL
DATE DRAWN: 3/22/14	REV: MODEL NUMBER
DRAWN BY: J. SSC	REV: B
DATE REV.: 6/26/15	REV: 21-00
DATE REV.: 6/26/15	REV: 1 OF 1

NO.	DATE	BY	CHKD	APPRD	DESCRIPTION
1	6/19/2015				REVISED PER CITY COMMENT

SCALE: 1" = 50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

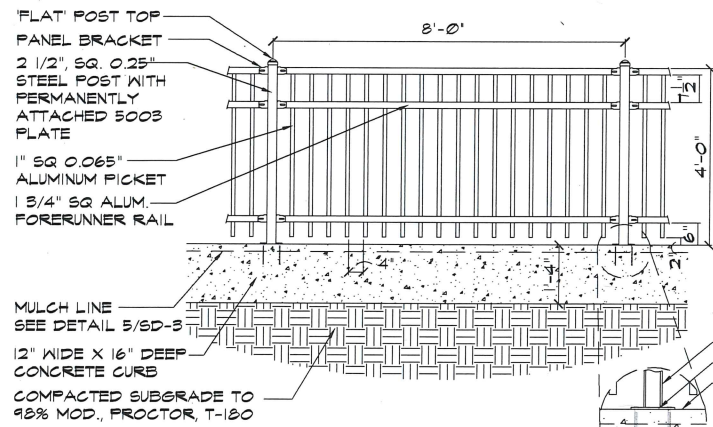
LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

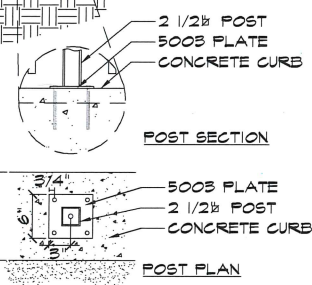
RUTH PERRY, FLA
 No. LA0001530

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 EB 9951
 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

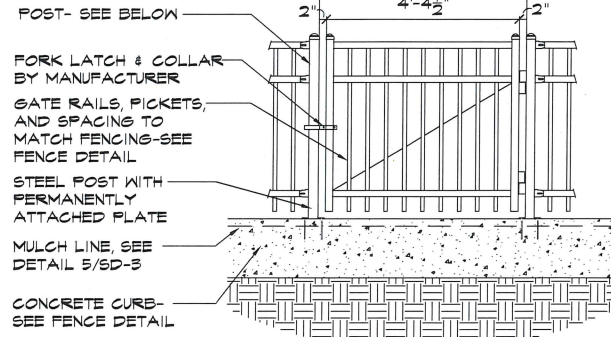
PROJECT NO./DASH NO.
 A120273.03
 SHEET
HS.01



FENCE DETAIL
 4 FT. TALL ALUMINUM PICKET FENCE WITH STEEL POST. ECHELON II INDUSTRIAL ALUMINUM MAJESTIC 3-RAIL FENCE BY AMERISTAR, (800) 321-8724, OR APPROVED EQUAL. POWDERCOAT FINISH, COLOR: BLACK. INSTALL PER MANUFACTURERS SPECIFICATIONS.



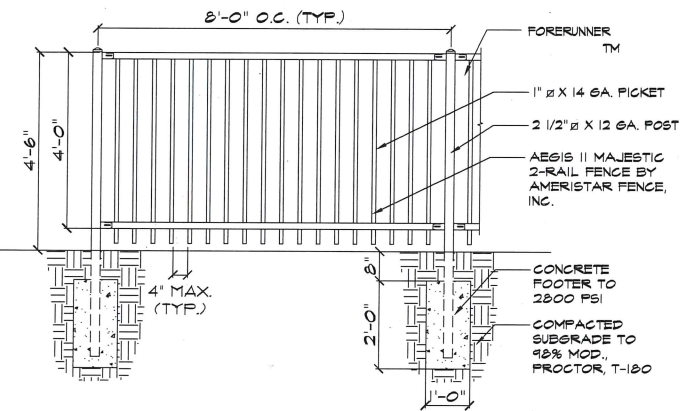
NOTE: LATCH, HINGES, AND FASTENERS TO BE ALUMINUM, POWDER-COATED BLACK.



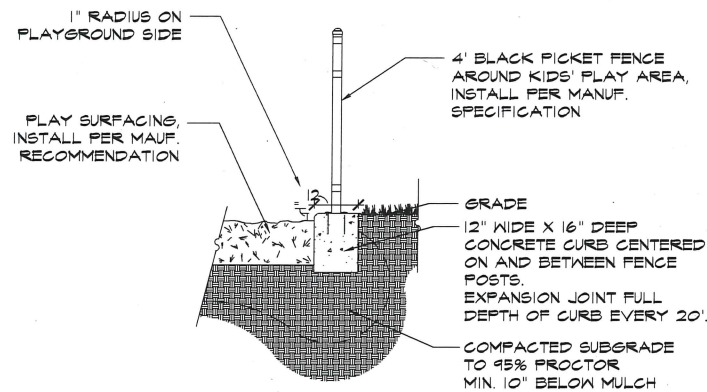
GATE DETAIL
 GATE TO MATCH FENCING, BELOW. 4 FT. TALL ALUMINUM PICKET FENCE SWING GATE. ECHELON II INDUSTRIAL ALUMINUM MAJESTIC 3-RAIL FENCE BY AMERISTAR, (800) 321-8724, OR APPROVED EQUAL. POWDERCOAT FINISH, COLOR: BLACK.

FENCE AND GATE AROUND KIDS' PLAY AREA & DOG PARK
 1/2" = 1'-0"

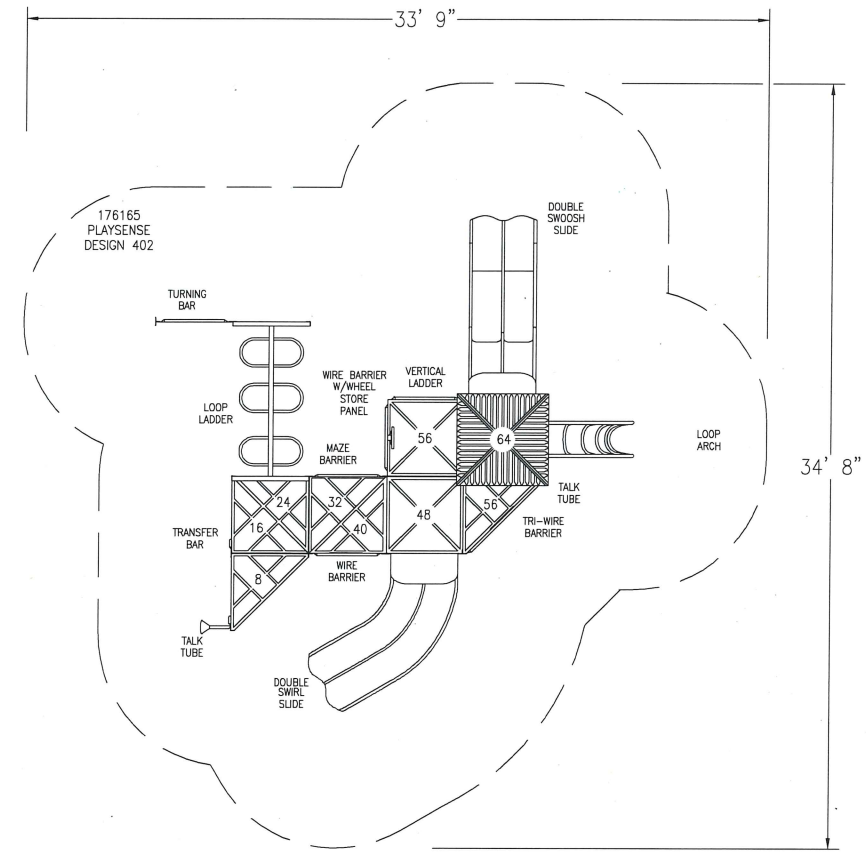
FILE NAME: play-fence-elev



POOL FENCE
 1/2" = 1'-0"



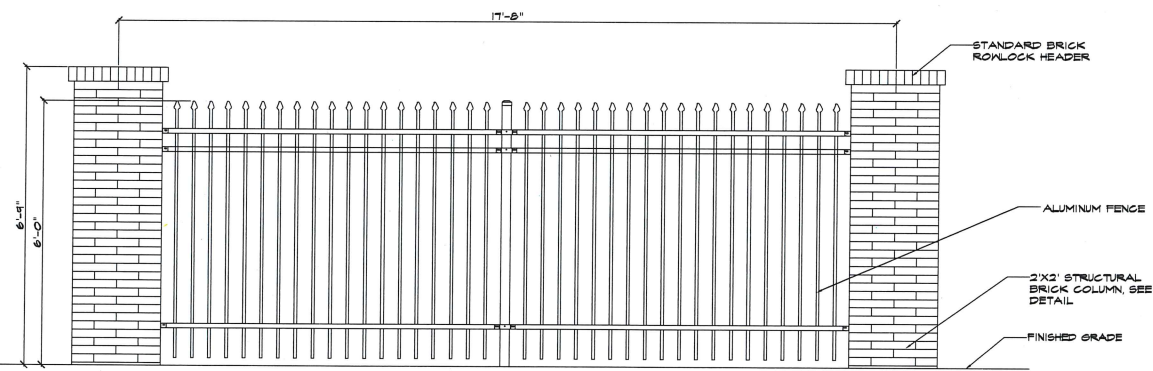
PLAY AREA CURB/FENCE DETAIL
 1/2" = 1'-0"



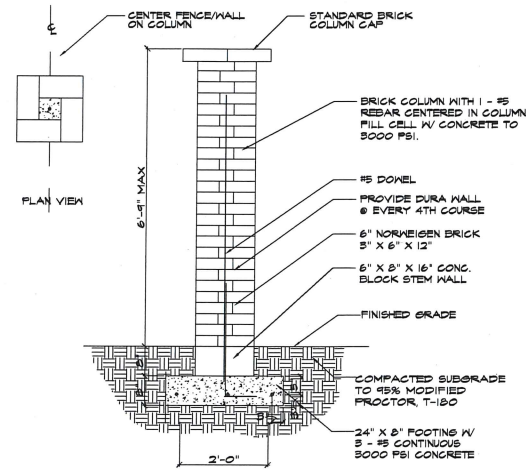
PLAYGROUND EQUIPMENT



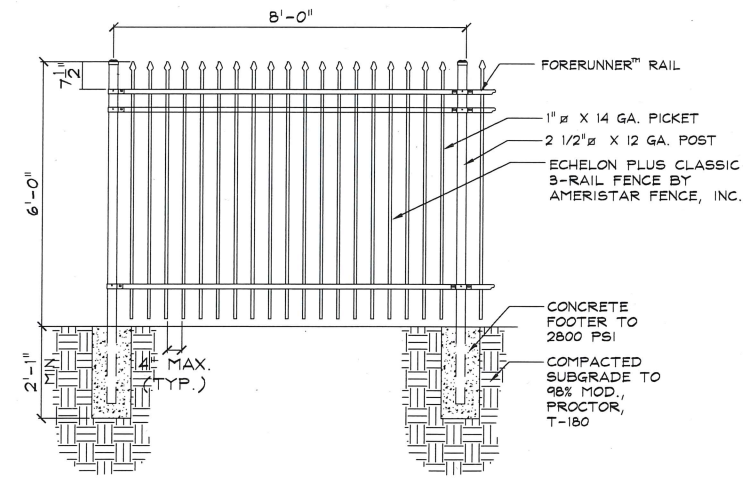
PLAYGROUND EQUIPMENT IMAGE



TYPICAL COLUMN/FENCE ELEVATION (PERIMETER FENCE)
 1/2" = 1'-0"



COLUMN SECTION (PERIMETER FENCE)
 1/2" = 1'-0"



6' ALUMINUM FENCE (PERIMETER FENCE)
 1/2" = 1'-0"

LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

NO.	DATE	BY	CHKD	APPROV	DESCRIPTION
1	6/18/2015				REVISED PER CITY COMMENT

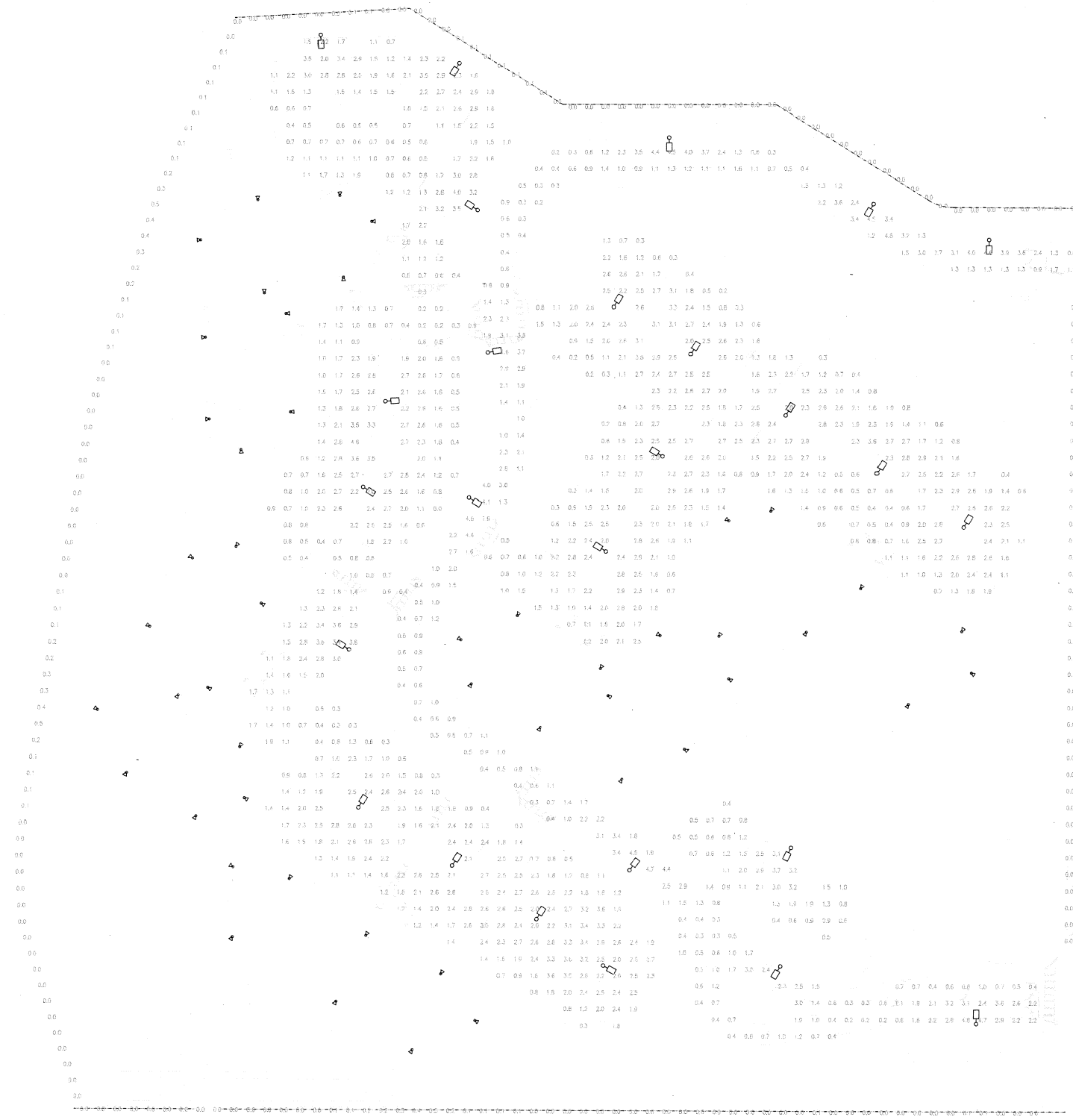
SCALE: 1"=50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

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PROJECT NO./DASH NO.
 A120273.03

HS.02



GENERAL NOTES:
 a. REFER TO SHEET E16.01 FOR FIXTURE TYPE.
 b. CONTRACTOR TO PROVIDE PHOTOMETRIC SITE PLAN IF FIXTURE SELECTIONS ARE DIFFERENT THAN SCHEDULE.
 c. PHOTOMETRIC VALUES CHANGED BASED ON REVISIONS TO SHEET E16.01L

CALCULATION SUMMARY

LEVEL	AREA	AVG	MAX	MIN	MAX/AVG
PARKING CLUBHOUSE	1.37	3.70	0.40	9.25	
PARKING EAST	1.76	3.60	0.20	18.00	
PARKING WEST	1.76	4.60	0.20	23.00	
ROADWAY	1.55	4.80	0.20	24.00	
BOUNDARY	0.06	0.10	0.00	N/A	
BOUNDARY STREET	0.02	0.10	0.00	N/A	

FORUM
 ARCHITECTURE &
 INTERIOR DESIGN, INC.
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 phone: 407.830.1400
 fax: 407.830.4143
 AA0002731
 www.forumarchitecture.com

Marden Ridge Apartments
 Apopka, FL

NO.	DATE	BY	DESCRIPTION
1	6/19/2015		REVISED PER CITY COMMENT

SCALE:
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

LIGHTING PLANS
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SET DISTRIBUTIONS:

SET	PERCENT
3072015	Perk Set

SHEET REVISIONS:

NO.	DATE	BY	DESCRIPTION
06/24/2015	1	Govt	Coordination

EDITED BY: BSB
 PROJECT NO. 14-3051

Photometric Site Plan - LED

E16.02L

PHOTOMETRIC SITE PLAN - LED
 SCALE: 1"=50'-0"

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PROJECT NO./DASH NO.
 A120273.03

SHEET
L-2

